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- TOTAL GROSS TRACT AREA = 24,489 S.F. (0.562 ACRES).
  - TAX PARCEL NUMBERS: UPI: 1-13-28, DB 6365, PG 1507 AND UPI: 1-13-29, DB 10921, PG 861.
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  - SITE GEOLOGY IS CHARACTERIZED AS fgp: FELSIC GNEISS.
  - THE PROPERTY IS SERVICED BY PUBLIC SEWER AND PUBLIC WATER.
  - THE CLOSEST FIRE HYDRANT IS LOCATED APPROXIMATELY 97 FEET AWAY AT THE CORNER OF S. MATLACK STREET AND DULANEY ALLEY.
  - THE SITE IS TRIBUTARY TO GOOSE CREEK, A TRIBUTARY TO THE CHESTER CREEK WATERSHED. THE CHAPTER 93 DESIGNATION FOR GOOSE CREEK IS T51M.
  - COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH-MOVING ACTIVITIES.
  - THE SITE DEVELOPER SHALL BE RESPONSIBLE TO COORDINATE WITH A PROFESSIONAL LAND SURVEYOR TO SET ALL PROPOSED BOUNDARY MONUMENTATION AT THE COMPLETION OF CONSTRUCTION.
  - THE OWNER AND CONTRACTOR ARE RESPONSIBLE TO ENSURE THAT NO DAMAGE OCCURS TO EXISTING CURBS OR ROADWAYS. ANY DAMAGE WILL REQUIRE IMMEDIATE REPAIR TO THE BOROUGH'S SATISFACTION. ADDITIONALLY, WEST CHESTER BOROUGH DOES NOT ACCEPT MUD, DIRT OR DEBRIS TRACKED ONTO EXISTING ROADS. ANY MUD, DIRT OR DEBRIS OFFSITE / ON THE ROADS SHALL BE IMMEDIATELY CLEANED/REMOVED.
  - THERE ARE NO STREETS, RIGHTS-OF-WAY, OR ANY PUBLIC USE INTENDED FOR DEDICATION BY THIS PLAN.
  - ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS NOTED OTHERWISE. SCALED DIMENSIONS SHALL NOT BE USED WITHOUT FIRST CONTACTING THE ENGINEER OR ARCHITECT.
  - ALL UTILITY LINES INCLUDING BUT NOT LIMITED TO ELECTRIC, GAS, STREETLIGHT SUPPLY, AND TELEPHONE SHALL BE PLACED UNDERGROUND. INSTALLATION OF ALL UTILITIES SHALL BE IN STRICT ACCORDANCE WITH THE ENGINEERING STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY, MUNICIPAL AUTHORITY OR OTHER PUBLIC UTILITY CONCERNED.
  - STORMWATER MANAGEMENT SHOWN PER PROJECT NARRATIVE AND POST CONSTRUCTION MANAGEMENT CALCULATIONS FOR MEGILL HOLDINGS, LLC - 732 & 734 S. MATLACK STREET, WEST CHESTER BOROUGH, CHESTER COUNTY, DATED JANUARY 13, 2023, LAST REVISED MAY 12, 2023.
  - IN ACCORDANCE WITH SECTION 97-38.1, I.E. THE APPLICANT IS PROPOSING TO PROVIDE A FEE IN LIEU OF ACREAGE TO BE SET ASIDE FOR RECREATION AND OPEN SPACE.
  - COMMON AREAS OF THE PROPERTY, INCLUDING THE SHARED DRIVEWAY AND PARKING AREA, WILL BE MAINTAINED BY A HOMEOWNERS ASSOCIATION WHICH BE ESTABLISHED.

**Sheet Index**

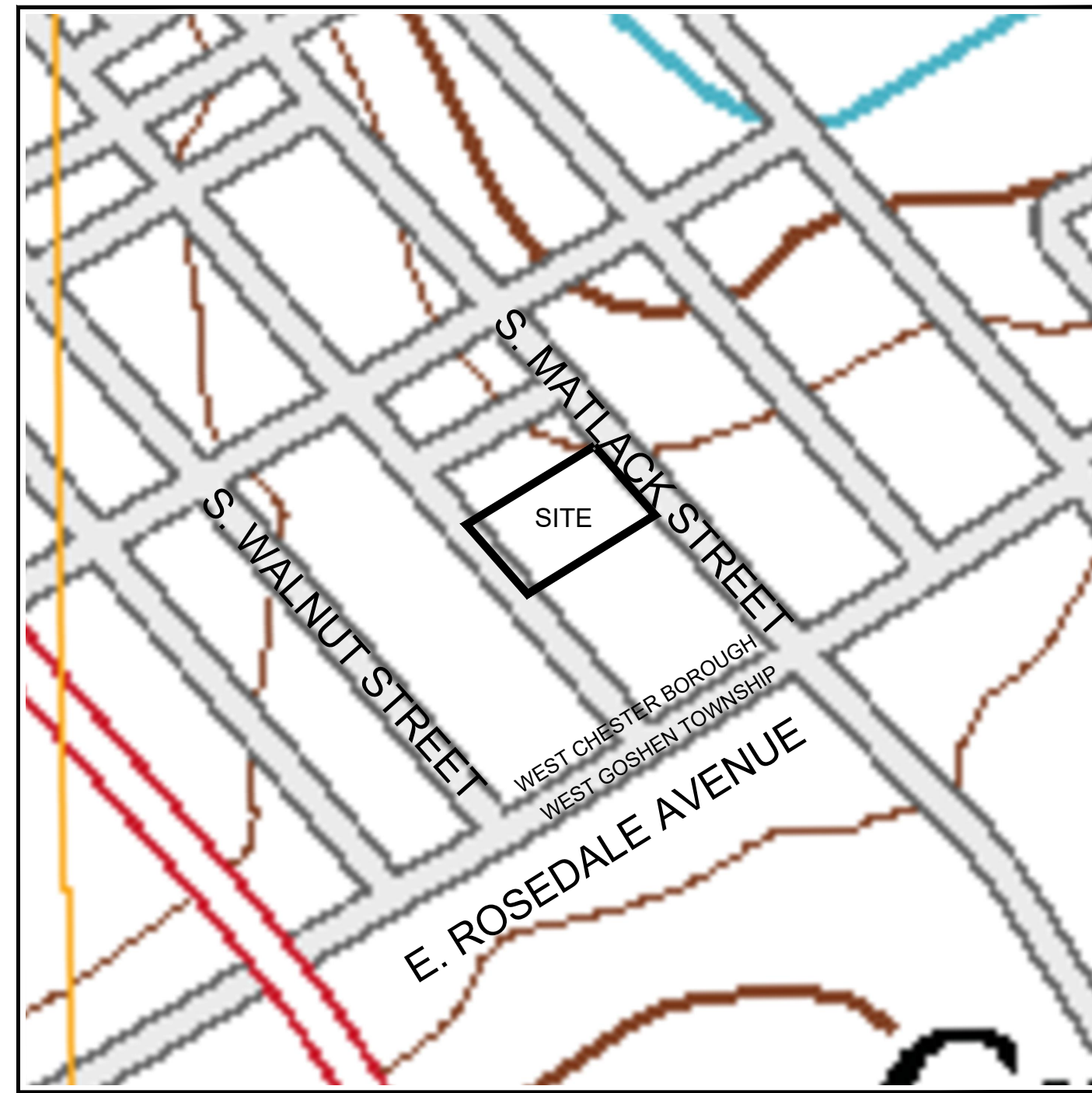
Sheet Number	Sheet Title
1	COVER SHEET
2	TITLE PLAN
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	LAYOUT PLAN
5	IMPROVEMENTS CONSTRUCTION PLAN
6	PCSM PLAN
7	PCSM DETAILS
8	CONSERVATION & EROSION & SEDIMENT CONTROL PLAN
9	EROSION & SEDIMENT CONTROL DETAILS
10	LANDSCAPE & LIGHTING PLAN
11	CONSTRUCTION DETAILS

**OWNER OF RECORD:**  
HUGHES PROPERTY MANAGEMENT, LLC  
29 CHELSEA COURT  
GLEN MILLS, PA 19342

**EQUITABLE OWNER / APPLICANT:**  
MEGILL HOLDINGS, LLC  
330 KENNETT PIKE, SUITE 207  
CHADDS FORD, PA 19317

# FINAL LAND DEVELOPMENT PLAN FOR MEGILL HOLDINGS, LLC.

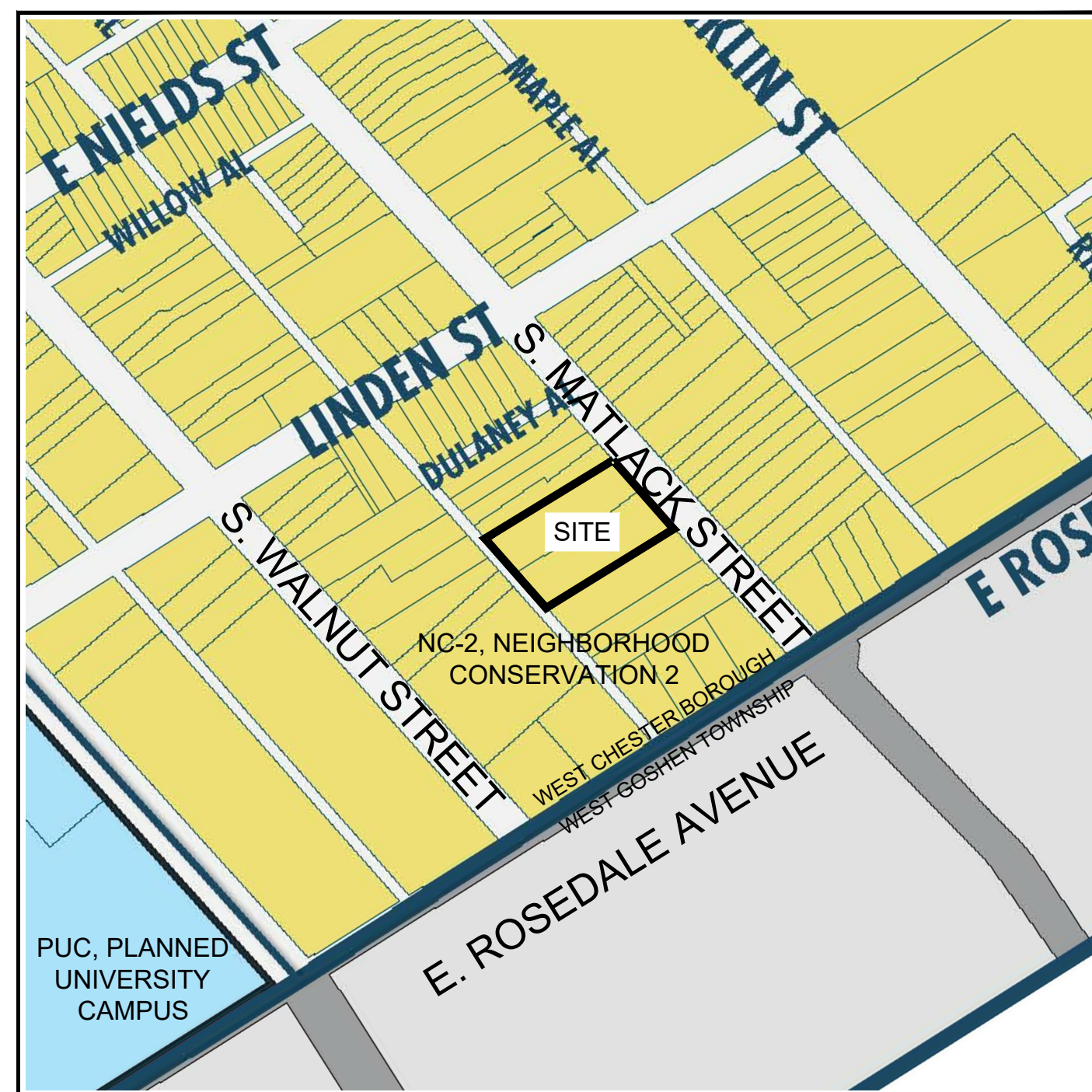
732 & 734 S. MATLACK STREET, WEST CHESTER, PA, 19382  
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA



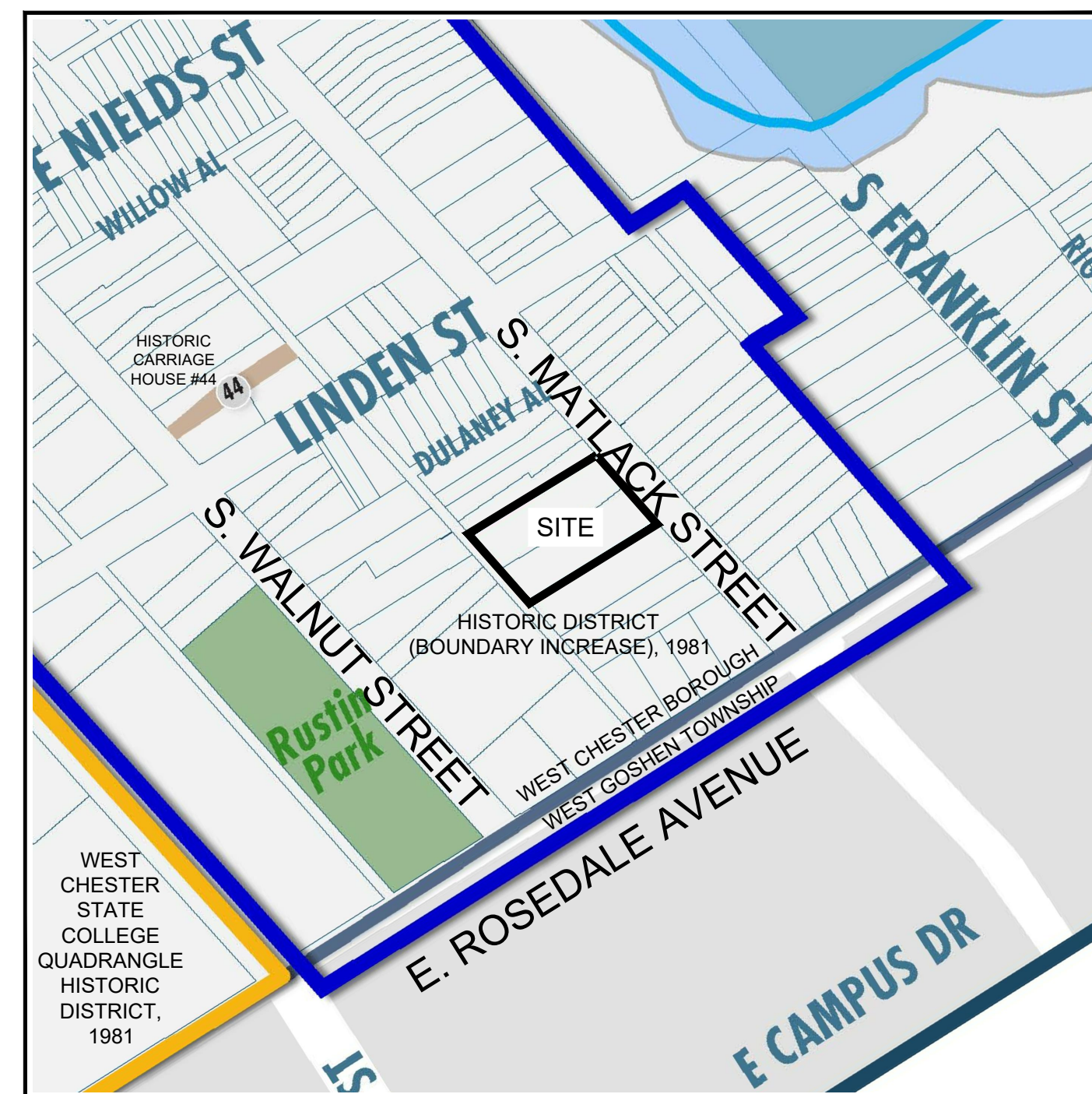
**USGS MAP**  
SCALE 1:200



**AERIAL MAP**  
SCALE 1:200



**ZONING MAP**  
SCALE 1:200



**HISTORIC RESOURCE PROTECTION MAP**  
SCALE 1:200

COMMONWEALTH OF PENNSYLVANIA :  
COUNTY OF CHESTER :  
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_ BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN \_\_\_\_\_ PERSONALLY APPEARED \_\_\_\_\_ WHO ACKNOWLEDGES HIMSELF TO BE A LIABILITY CORPORATION, AND THAT AS SUCH BEING AUTHORIZED TO DO SO, HE EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED BY SIGNING THE NAME OF THE CORPORATION BY HIMSELF.

WITNESS MY HAND AND NOTARIAL SEAL, THE DAY AND YEAR AFORESAID.

NOTARY PUBLIC \_\_\_\_\_

**CERTIFICATE OF ENGINEER-OF-RECORD:**  
I HEREBY CERTIFY THAT THE PLANS ARE IN CONFORMITY WITH ENGINEERING ZONING, BUILDING, SUBDIVISION, SANITATION AND OTHER APPLICABLE BOROUGH CHAPTERS AND REGULATIONS. IN ANY AND ALL INSTANCES WHERE THESE PLANS DO NOT CONFORM, EVIDENCE SHALL BE PRESENTED THAT AN EXCEPTION OR WAIVER HAS BEEN GRANTED OR AUTHORIZED.

SCOTT J. ZWIZANSKI, P.E. (DATE) \_\_\_\_\_

**CERTIFICATE OF APPLICANT:**  
I HEREBY CERTIFY THAT THE PLANS ARE IN CONFORMITY WITH ENGINEERING ZONING, BUILDING, SUBDIVISION, SANITATION AND OTHER APPLICABLE BOROUGH CHAPTERS AND REGULATIONS. IF THEY ARE NOT SO CONFORMING, THEN THE REASONS FOR REQUESTING AN EXCEPTION ARE NOTED HERON. IF PROPOSED ZONING CHANGES ARE SHOWN, THEN THE SUGGESTED LOCATIONS OF BUILDINGS IN CONNECTION THEREWITH ARE IDENTIFIED HERON.

APPLICANT \_\_\_\_\_ (DATE) \_\_\_\_\_

**WEST CHESTER BOROUGH COUNCIL:**  
APPROVED BY RESOLUTION OF THE BOARD OF SUPERVISORS OF WEST CHESTER TOWNSHIP THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

PRESIDENT \_\_\_\_\_  
SECRETARY \_\_\_\_\_

**WEST CHESTER BOROUGH PLANNING COMMISSION:**  
REVIEWED BY THE PLANNING COMMISSION OF WEST CHESTER BOROUGH THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

CHAIRPERSON \_\_\_\_\_  
MEMBER \_\_\_\_\_  
MEMBER \_\_\_\_\_

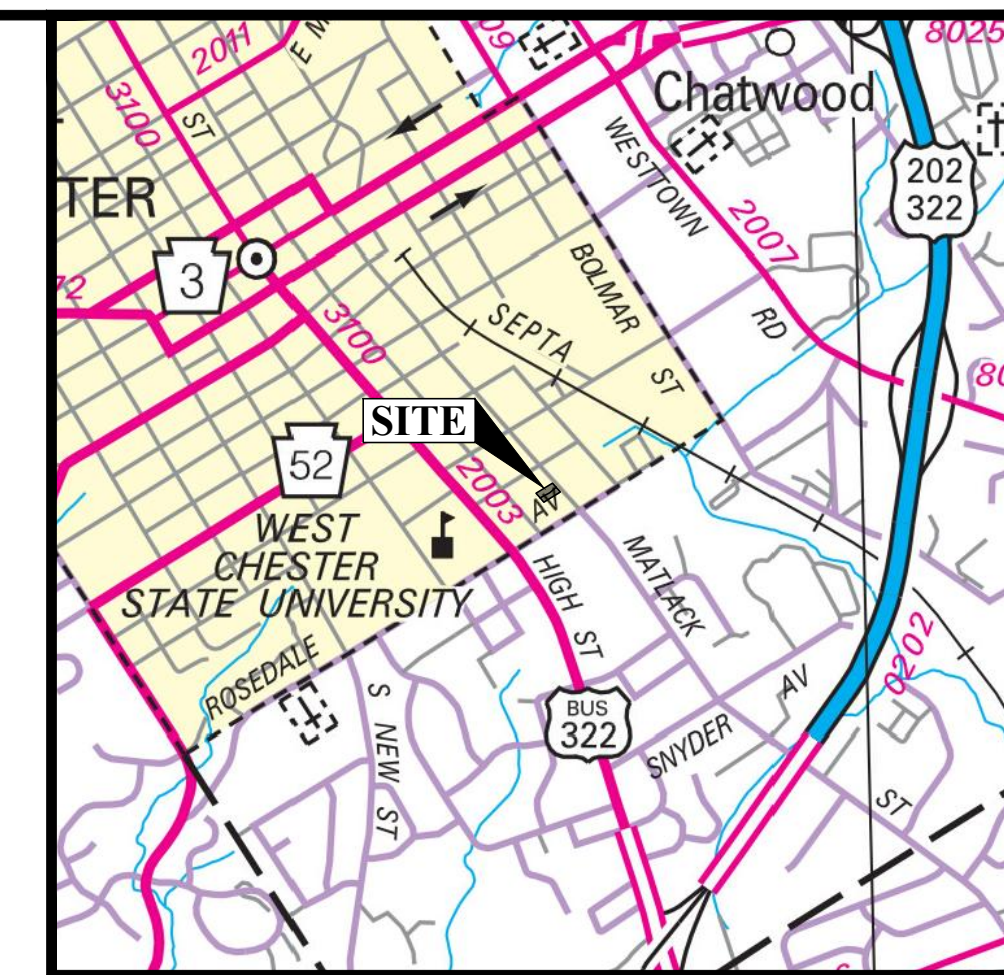
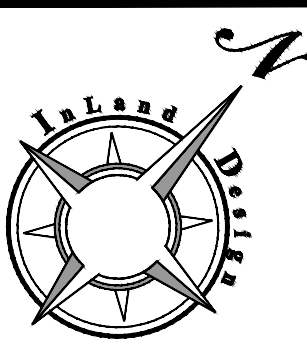
**WEST CHESTER BOROUGH ENGINEER:**  
REVIEWED BY THE WEST CHESTER BOROUGH ENGINEER THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

TOWNSHIP ENGINEER \_\_\_\_\_

**CHESTER COUNTY PLANNING COMMISSION**  
PROCESSED AND REVIEWED. A REPORT HAS BEEN PREPARED BY THE CHESTER COUNTY PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE.

CERTIFIED THIS DATE \_\_\_\_\_  
FOR THE DIRECTOR \_\_\_\_\_  
RECORDED IN THE CHESTER COUNTY COURTHOUSE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, IN PLAN BOOK \_\_\_\_\_, PAGE \_\_\_\_\_.

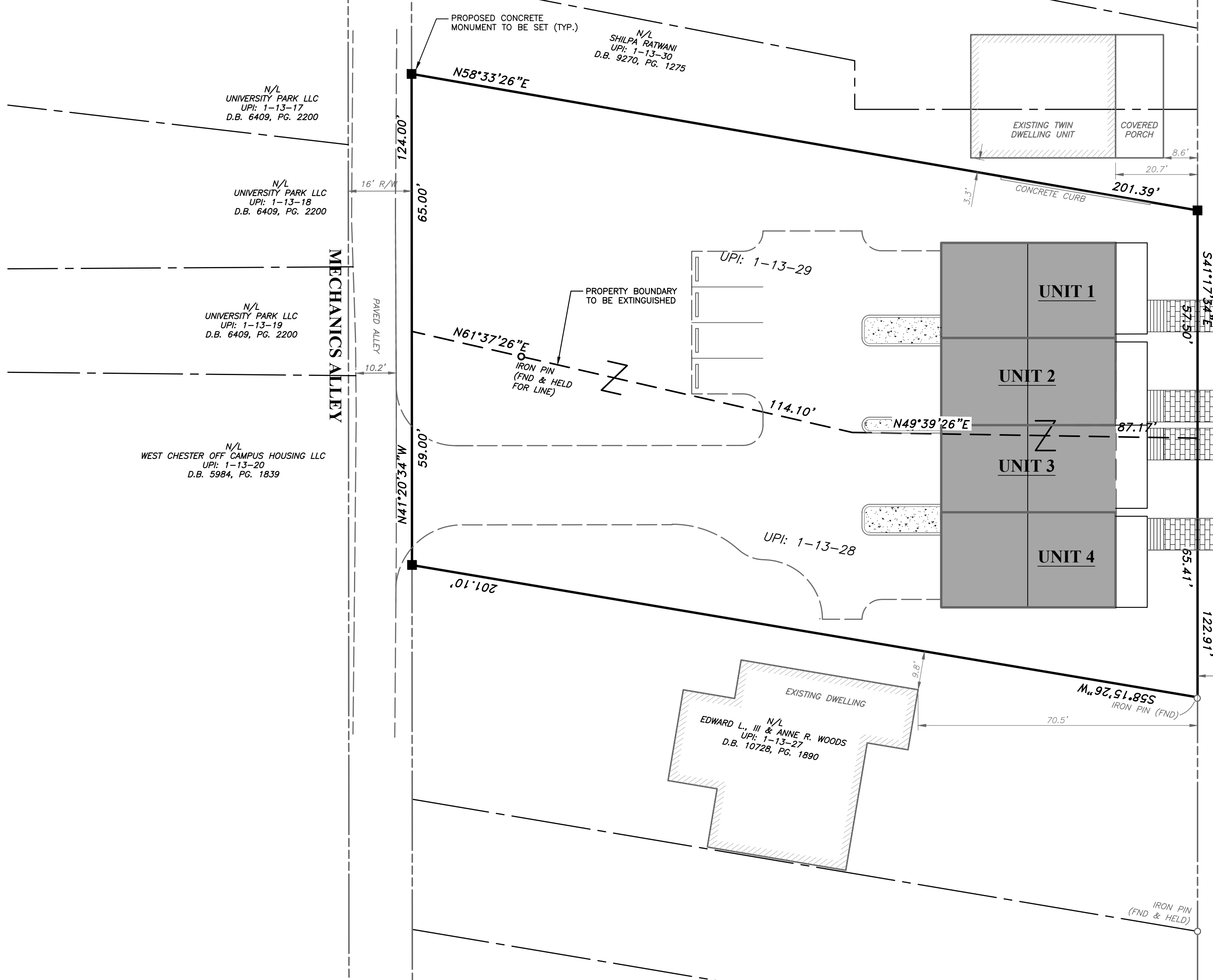
<p><b>COPYRIGHT</b> Inland Design, LLC expressly reserves its common law copyright and all other proprietary rights in these plans. All drawings, specifications and copies thereof are and shall remain the property of Inland Design, LLC. They are to be used only in respect to this project and are neither to be used on any other project, nor are they to be assigned to any third party without first obtaining the expressed written permission and consent of Inland Design, LLC. Any reuse without written permission, verification, consent or adaptation by Inland Design, LLC for the specific purpose intended, will be at the third party's sole risk and without liability or legal exposure to Inland Design, LLC. The third party shall further indemnify and hold harmless Inland Design, LLC from all claims, damages, losses, and expenses arising thereon or resulting therefrom.</p> <p>UPI: 1-13-28   D.B. 6365   PG. 1507 &amp; UPI: 1-13-29   D.B. 10921   PG. 861</p>	<p>PA. act 172 of 1986 requires three working days notice Serial Number <b>20222571282</b></p> <p><b>PENNSYLVANIA ACT 187 REQUIREMENTS:</b> Inland Design, LLC does not guarantee the accuracy of the location for existing subsurface utility structures shown on the plans, nor does Inland Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.</p>	<p><b>INLAND DESIGN</b> Civil Engineers, Surveyors &amp; Land Development Consultants 16 Hagerty Blvd. West Chester, PA 19382 www.InlandDesign.net</p> <p>Phone: (484) 947-2928 Fax: (484) 947-2946 Info@InlandDesign.net</p>	<p><b>NOTARY PUBLIC</b> SCOTT J. ZWIZANSKI ENGINEER PE091752 PENNSYLVANIA</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>Date:</th> <th>Description:</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>4/4/2023</td> <td>REVISIONS PER MUNICIPAL REVIEWS.</td> </tr> <tr> <td>2</td> <td>5/12/2023</td> <td>REVISIONS PER MUNICIPAL REVIEWS AND ARCHITECTURAL PLANS</td> </tr> </tbody> </table>	No.	Date:	Description:	1	4/4/2023	REVISIONS PER MUNICIPAL REVIEWS.	2	5/12/2023	REVISIONS PER MUNICIPAL REVIEWS AND ARCHITECTURAL PLANS	<p style="text-align: center;"><b>FINAL LAND DEVELOPMENT PLAN</b></p> <p style="text-align: center;">GRAPHIC SCALE 0 10 20 40 80 (IN FEET) 1 inch = 20'</p>	<p>Date: 01/13/2023 Scale: AS NOTED Drawn by: DWN Checked by: SJZ Project No. 11421</p>	<p style="text-align: center;"><b>COVER SHEET FOR MEGILL HOLDINGS, LLC. 732 &amp; 734 S. MATLACK STREET WEST CHESTER, PA, 19382 WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA</b></p>	<p style="text-align: center;">S H E E T <b>1</b> OF 11</p>
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**LOCATION MAP**  
SCALE: 1" = 2000'

**TITLE NOTES:**

1. THE PURPOSE OF THIS PLAN IS TO CONSOLIDATE TAX PARCELS 1-13-28 AND 1-13-29 INTO ONE LOT BY EXTINGUISHING THE SHARED LOT LINE BETWEEN THEM RESULTING IN A PROPOSED TRACT AREA OF 24,489 S.F. (0.562 ACRES).
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4. THE PROPERTY IS LOCATED WITHIN THE NC-2 NEIGHBORHOOD CONSERVATION ZONING DISTRICT FOR SINGLE-FAMILY ATTACHED DWELLINGS.
5. PERMANENT CONCRETE MONUMENTS SHALL BE SET AT ALL CORNERS AND/OR ANGLE POINTS OF THE CONSOLIDATED PARCELS. NO OCCUPANCY PERMITS WILL BE ISSUED AND NO PUBLIC IMPROVEMENTS WILL BE ACCEPTED BY THE BOROUGH UNTIL ALL MONUMENTS ARE IN PLACE.
6. THE SITE DEVELOPER SHALL BE RESPONSIBLE TO COORDINATE WITH A PROFESSIONAL LAND SURVEYOR TO SET ALL PROPOSED BOUNDARY MONUMENTATION AT THE COMPLETION OF CONSTRUCTION.
7. THERE ARE NO STREETS, RIGHTS-OF-WAY, OR ANY PUBLIC USE INTENDED FOR DEDICATION BY THIS PLAN.
8. A HOMEOWNER'S ASSOCIATION WILL BE CREATED FOR THE PURPOSES OF MAINTAINING ALL COMMON ELEMENTS INCLUDING, BUT NOT LIMITED TO, PARKING FACILITIES, STORMWATER MANAGEMENT FACILITIES, SIDEWALKS, AND ANY OTHER RELATED ELEMENTS.



**ZONING DATA**  
**NC-2 NEIGHBORHOOD CONSERVATION DISTRICT**  
**SINGLE-FAMILY ATTACHED**

DESCRIPTION	REQUIRED	EXISTING		PROPOSED
		UPI: 1-13-28	UPI: 1-13-29	
MINIMUM LOT AREA PER DWELLING UNIT	MEDIAN VALUE OF LOTS ON THE BLOCK FACE	11,307 S.F.	13,182 S.F.	24,489 S.F.
MINIMUM LOT WIDTH (ATTACHED)	20 FEET	51.47 FEET	57.50 FEET	122.91 FEET
MINIMUM BUILD TO FRONT YARD SETBACK	MATCH EXISTING ADJACENT SETBACKS	33.2 FEET	32.7 FEET	20.7 FEET
MINIMUM SIDE YARD SETBACK	EXISTING ADJACENT (10 FEET MINIMUM)	39.2 FEET	47.6 FEET	10.3 FEET
MINIMUM REAR YARD SETBACK	20 FEET	123.1 FEET	1.8 FEET	133.6 FEET
MAXIMUM STRUCTURE HEIGHT	35 FEET	EXISTING	EXISTING	~35 FEET
MAXIMUM IMPERVIOUS COVERAGE *	50%	15.6% (1,764 S.F.)	14.6% (1,930 S.F.)	48.0% (11,757 S.F.)
MAXIMUM BUILDING COVERAGE *	35%	5.2% (592 S.F.)	7.1% (936 S.F.)	19.4% (4,752 S.F.)

\* MAXIMUM COVERAGE PERCENTAGES BASED ON LOTS OVER 5,000 S.F. PER ZONING ORDINANCE.

**AREA OF TRACT**

UPI: 1-13-28 GROSS LOT AREA	11,307 S.F. (0.259 ACRES)
UPI: 1-13-29 GROSS LOT AREA	13,182 S.F. (0.303 ACRES)
TOTAL GROSS LOT AREA	24,489 S.F. (0.562 ACRES)

**OWNER OF RECORD:**  
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GLEN MILLS, PA 19342

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330 KENNETT PIKE, SUITE 207  
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**LEGEND**

	PROPERTY BOUNDARY
	PROPERTY BOUNDARY TO BE EXTINGUISHED
	ADJOINING PROPERTY LINE
	EXISTING RIGHT OF WAY LINE
	EXISTING CURB LINE
	EXISTING ROAD / PAVING
	PROPOSED CONCRETE MONUMENT TO BE SET

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Pennsylvania One Call System  
PA. act 172 of 1986 requires three working days notice  
Serial Numbers:  
**20222571282**

PENNSYLVANIA ACT 187 REQUIREMENTS:  
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West Chester, PA 19382  
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**PROFESSIONAL ENGINEER**  
SCOTT G. ZWIZANSKI  
ENGINEER  
PE091752  
PENNSYLVANIA

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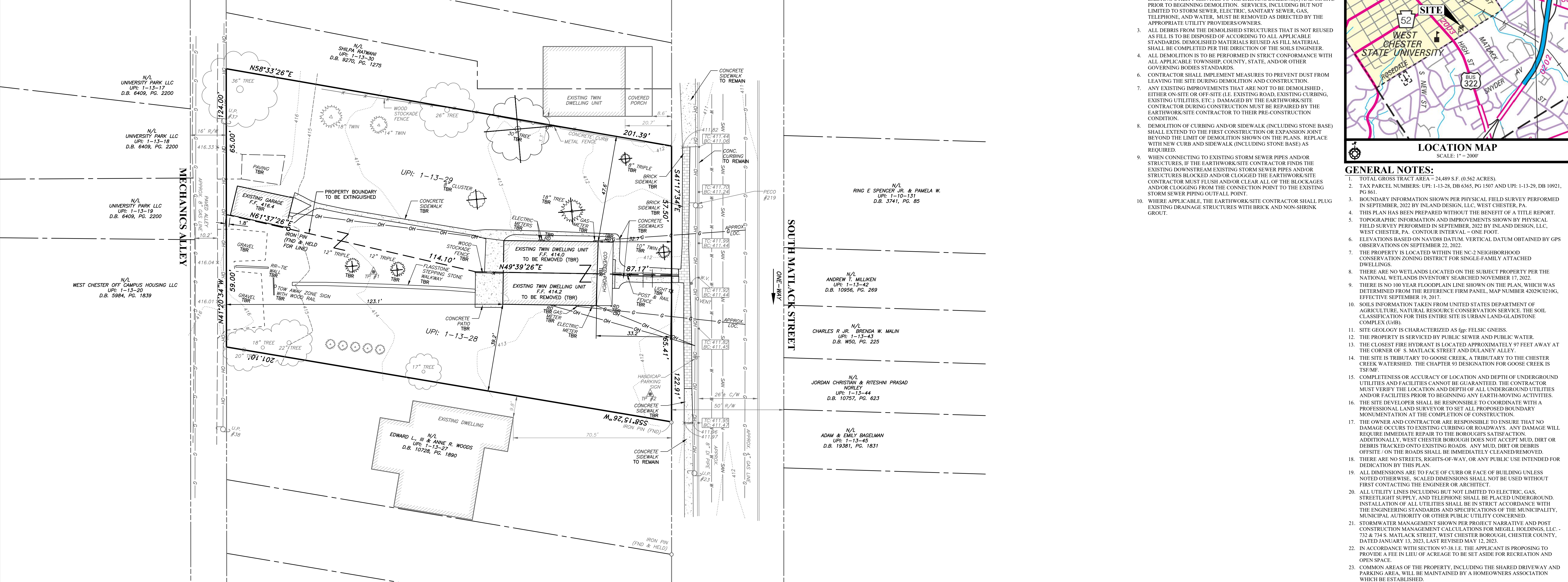
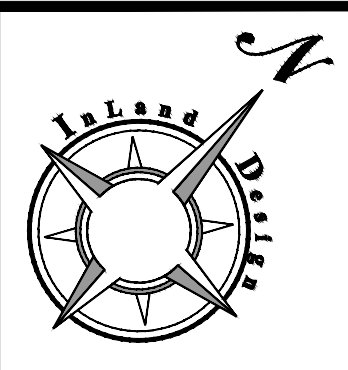
**FINAL LAND DEVELOPMENT PLAN**

GRAPHIC SCALE  
0 10 20 40 80  
(IN FEET)  
1 inch = 20'

Date: 01/13/2023  
Scale: 1" = 20'  
Drawn by: DWN  
Checked by: SJZ  
Project No. 11421

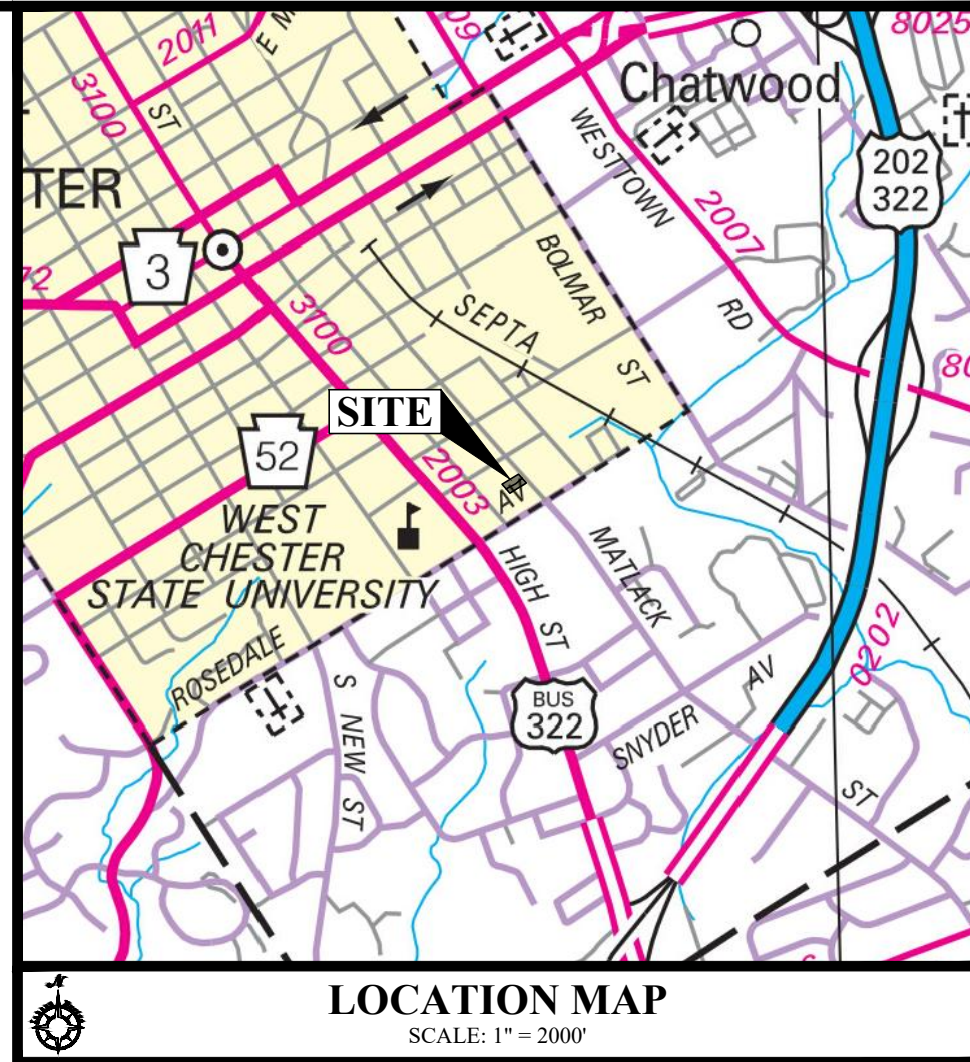
**TITLE PLAN FOR**  
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WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA

**SHEET**  
**2**  
**OF 11**



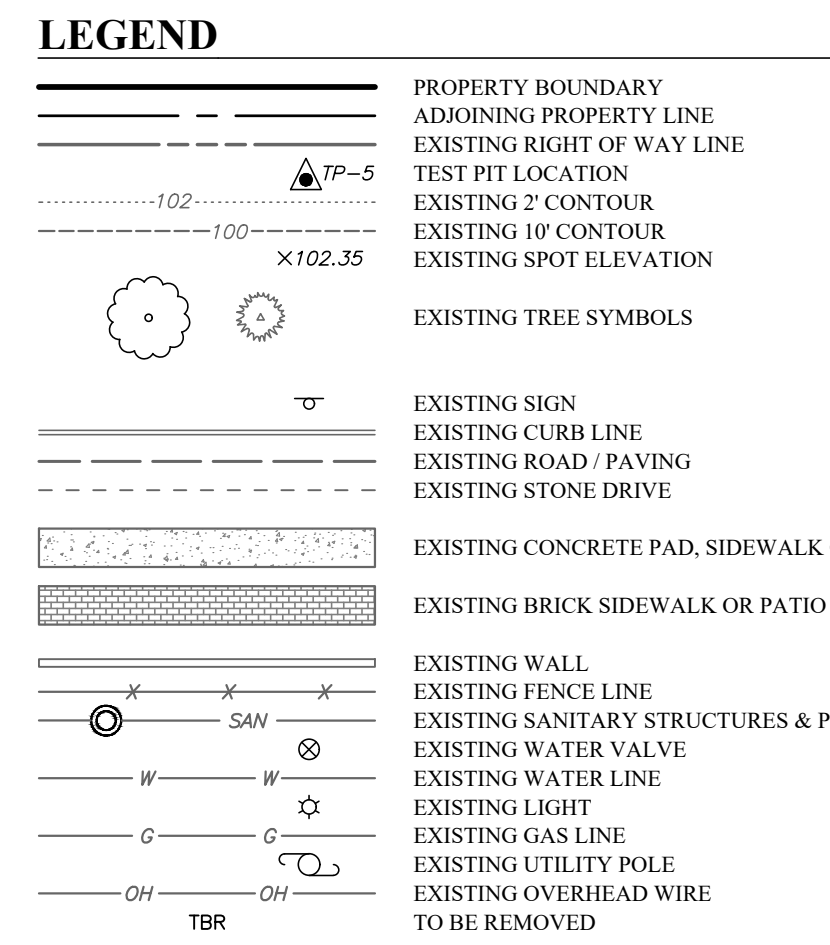
**DEMOLITION NOTES:**

1. THE EARTHWORK/SITE CONTRACTOR SHALL REMOVE AND/OR DEMOLISH ALL OF THE ANCILLARY FEATURES WHICH INTERFERE AND/OR CONFLICT WITH THE PROPOSED CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, FENCES, FENCE POSTS AND FOOTINGS, POSTS, VEGETATION, PADS, STEPS, SIGNS, BOLLARDS, CURBING, RAILINGS, ETC., INCLUDING EXISTING IMPROVEMENTS THAT MAY NOT BE SHOWN ON THESE PLANS. REMOVAL OF TREES MUST INCLUDE REMOVAL OF THE STUMPS.
2. THE EARTHWORK/SITE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE UTILITY PROVIDERS/OWNERS TO DISCONNECT THE EXISTING UTILITY SERVICES TO THE EXISTING BUILDING(S) AND/OR SITE PRIOR TO BEGINNING DEMOLITION. SERVICES, INCLUDING BUT NOT LIMITED TO STORM SEWER, ELECTRIC, SANITARY SEWER, GAS, TELEPHONE, AND WATER, MUST BE REMOVED AS DIRECTED BY THE APPROPRIATE UTILITY PROVIDERS/OWNERS.
3. ALL DEBRIS FROM THE DEMOLISHED STRUCTURES THAT IS NOT USED AS FILL IS TO BE DISPOSED OF ACCORDING TO ALL APPLICABLE STANDARDS. DEMOLISHED MATERIALS REUSED AS FILL MATERIAL SHALL BE COMPLETED PER THE DIRECTION OF THE SOILS ENGINEER.
4. ALL DEMOLITION IS TO BE PERFORMED IN STRICT CONFORMANCE WITH ALL APPLICABLE TOWNSHIP, COUNTY, STATE, AND/OR OTHER GOVERNING BODIES STANDARDS.
5. CONTRACTOR SHALL IMPLEMENT MEASURES TO PREVENT DUST FROM LEAVING THE SITE DURING DEMOLITION AND CONSTRUCTION.
6. ANY EXISTING IMPROVEMENTS THAT ARE NOT TO BE DEMOLISHED, EITHER ON-SITE OR OFF-SITE (I.E. EXISTING ROAD, EXISTING CURBING, EXISTING UTILITIES, ETC.), DAMAGED BY THE EARTHWORK/SITE CONTRACTOR DURING CONSTRUCTION MUST BE REPAIRED BY THE EARTHWORK/SITE CONTRACTOR TO THEIR PRE-CONSTRUCTION CONDITION.
7. DEMOLITION OF CURBING AND/OR SIDEWALK (INCLUDING STONE BASE) SHALL EXTEND TO THE FIRST CONSTRUCTION OR EXPANSION POINT BEYOND THE LIMIT OF DEMOLITION SHOWN ON THE PLANS. REPLACE WITH NEW CURB AND SIDEWALK (INCLUDING STONE BASE) AS REQUIRED.
8. WHEN CONNECTING TO EXISTING STORM SEWER PIPES AND/OR STRUCTURES, IF THE EARTHWORK/SITE CONTRACTOR FINDS THE EXISTING DOWNSTREAM EXISTING STORM SEWER PIPES AND/OR STRUCTURES BLOCKED AND/OR CLOGGED THE EARTHWORK/SITE CONTRACTOR MUST FLUSH AND/OR CLEAR ALL OF THE BLOCKAGES AND/OR CLOGGING FROM THE CONNECTION POINT TO THE EXISTING STORM SEWER PIPING OUTFALL POINT.
9. WHERE APPLICABLE, THE EARTHWORK/SITE CONTRACTOR SHALL PLUG EXISTING DRAINAGE STRUCTURES WITH BRICK AND NON-SHRINK GROUT.



**GENERAL NOTES:**

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22. IN ACCORDANCE WITH SECTION 97-38 I.E. THE APPLICANT IS PROPOSING TO PROVIDE A FEE IN LIEU OF ACREAGE TO BE SET ASIDE FOR RECREATION AND OPEN SPACE.
23. COMMON AREAS OF THE PROPERTY, INCLUDING THE SHARED DRIVEWAY AND PARKING AREA, WILL BE MAINTAINED BY A HOMEOWNERS ASSOCIATION WHICH BE ESTABLISHED.



**ZONING DATA**  
**NC-2 NEIGHBORHOOD CONSERVATION DISTRICT**  
**SINGLE-FAMILY ATTACHED**

DESCRIPTION	REQUIRED	EXISTING		PROPOSED
		UPI: 1-13-28	UPI: 1-13-29	
MINIMUM LOT AREA PER DWELLING UNIT	MEDIAN VALUE OF LOTS ON THE BLOCK FACE	11,307 S.F.	13,182 S.F.	24,489 S.F.
MINIMUM LOT WIDTH (ATTACHED)	20 FEET	51.47 FEET	57.50 FEET	122.91 FEET
MINIMUM BUILD TO FRONT YARD SETBACK	MATCH EXISTING ADJACENT SETBACKS	33.2 FEET	32.7 FEET	20.7 FEET
MINIMUM SIDE YARD SETBACK	EXISTING ADJACENT (10 FEET MINIMUM)	39.2 FEET	47.6 FEET	10.3 FEET
MINIMUM REAR YARD SETBACK	20 FEET	123.1 FEET	1.8 FEET	133.6 FEET
MAXIMUM STRUCTURE HEIGHT	35 FEET	EXISTING	EXISTING	<35 FEET
MAXIMUM IMPERVIOUS COVERAGE *	50%	15.6% (1,764 S.F.)	14.6% (1,930 S.F.)	48.0% (11,757 S.F.)
MAXIMUM BUILDING COVERAGE *	35%	5.2% (592 S.F.)	7.1% (936 S.F.)	19.4% (4,752 S.F.)

\* MAXIMUM COVERAGE PERCENTAGES BASED ON LOTS OVER 5,000 S.F. PER ZONING ORDINANCE.

**EXISTING IMPERVIOUS COVERAGE**

DESCRIPTION	UPI: 1-13-28	UPI: 1-13-29
DWELLING	592 S.F.	595 S.F.
GARAGE	0 S.F.	341 S.F.
COVERED PORCH	99 S.F.	97 S.F.
CONCRETE	276 S.F.	574 S.F.
PAVING	0 S.F.	221 S.F.
GRAVEL	665 S.F.	83 S.F.
RR-TIE WALL	10 S.F.	0 S.F.
CURB	0 S.F.	19 S.F.
FLAGSTONE WALK	122 S.F.	0 S.F.
TOTAL EXISTING IMPERVIOUS	1,764 S.F.	1,930 S.F.

**OWNER OF RECORD:**  
HUGHES PROPERTY MANAGEMENT, LLC  
29 CHELSEA COURT  
GLEN MILLS, PA 19342

**EQUITABLE OWNER / APPLICANT:**  
MEGILL HOLDINGS, LLC  
330 KENNETT PIKE, SUITE 207  
CHADDS FORD, PA 19317

**SOILS DESCRIPTION**

SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLOGIC SOIL GROUP
UHB	URBAN LAND-GLADSTONE COMPLEX	0% - 8%	MODERATE (ABOUT 6.9 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 TO 100 INCHES	2c	A

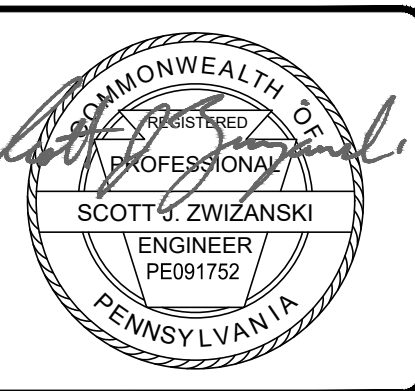
**AREA OF TRACT**

UPI: 1-13-28 GROSS LOT AREA	11,307 S.F. (0.259 ACRES)
UPI: 1-13-29 GROSS LOT AREA	13,182 S.F. (0.303 ACRES)
TOTAL GROSS LOT AREA	24,489 S.F. (0.562 ACRES)

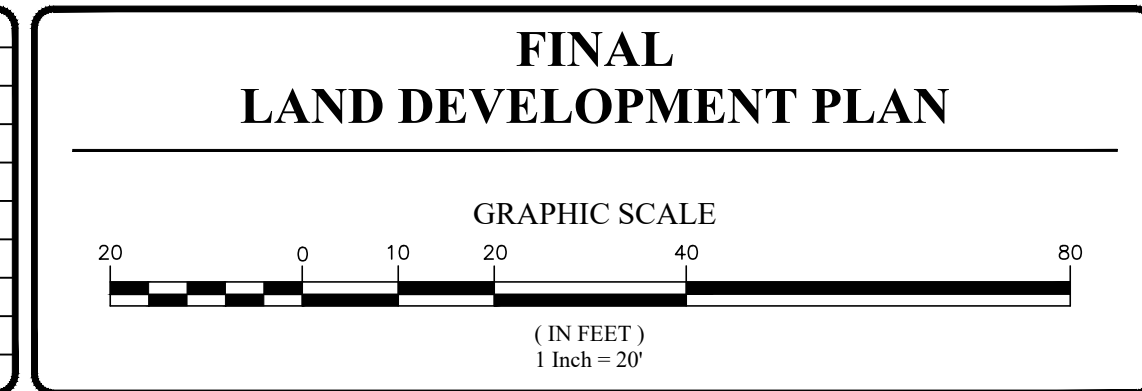
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**PENNSYLVANIA ONE CALL SYSTEM**  
PA. act 172 of 1986 requires three working days notice  
Serial Numbers  
**20222571282**  
**PENNSYLVANIA ACT 187 REQUIREMENTS:**  
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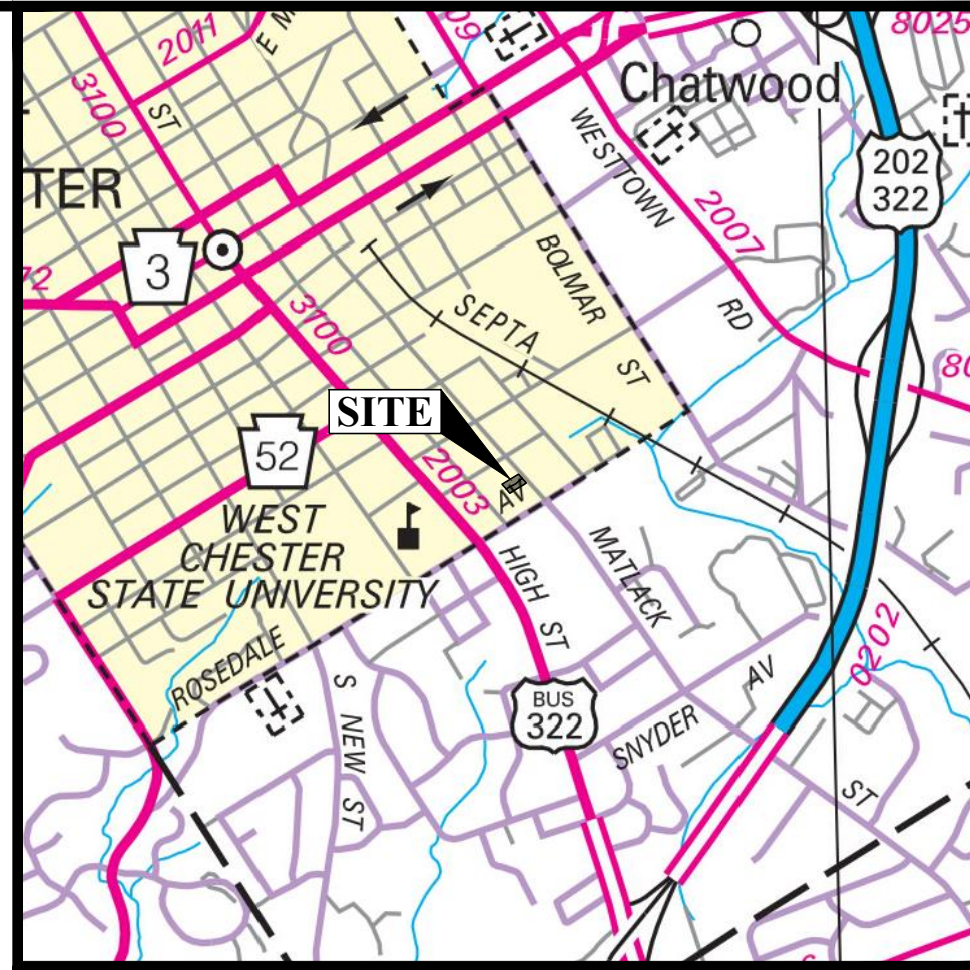
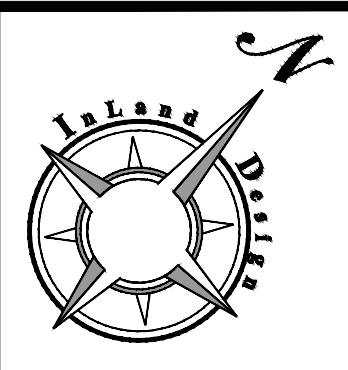
No.	Date:	Description:
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2	5/12/2023	REVISIONS PER MUNICIPAL REVIEWS AND ARCHITECTURAL PLANS



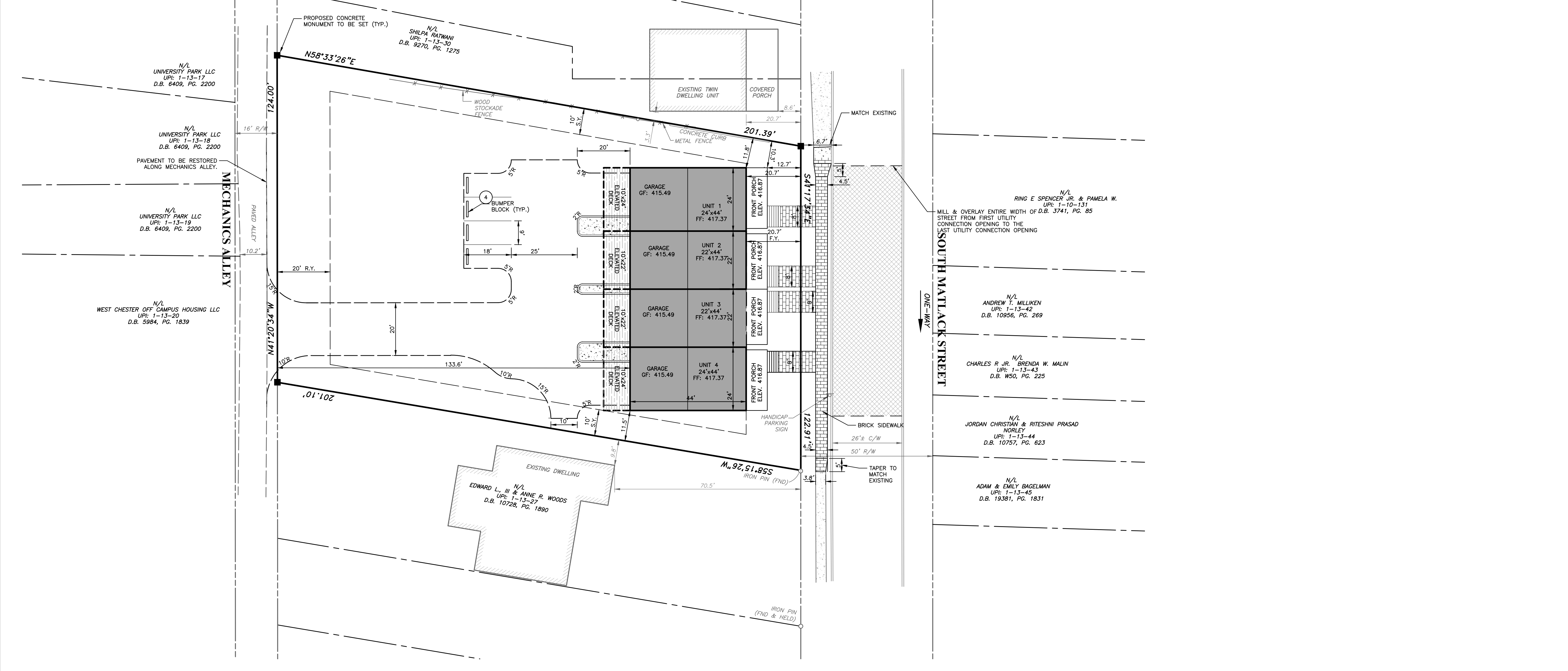
Date: 01/13/2023  
Scale: 1" = 20'  
Drawn by: DWN  
Checked by: SJZ  
Project No. 11421

**EXISTING CONDITIONS & DEMOLITION PLAN**  
**FOR**  
**MEGILL HOLDINGS, LLC.**  
**732 & 734 S. MATLACK STREET**  
**WEST CHESTER, PA, 19382**  
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA

**S H E E T**  
**3**  
**OF 11**



**LOCATION MAP**  
SCALE: 1" = 200'



- GENERAL NOTES:**
- TOTAL GROSS TRACT AREA = 24,489 S.F. (0.562 ACRES).
  - TAX PARCEL NUMBERS: UPI: 1-13-28, DB 6365, PG 1507 AND UPI: 1-13-29, DB 10921, PG 861.
  - BOUNDARY INFORMATION SHOWN PER PHYSICAL FIELD SURVEY PERFORMED IN SEPTEMBER, 2022 BY INLAND DESIGN, LLC, WEST CHESTER, PA.
  - THIS PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
  - TOPOGRAPHIC INFORMATION AND IMPROVEMENTS SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN SEPTEMBER, 2022 BY INLAND DESIGN, LLC, WEST CHESTER, PA. CONTOUR INTERVAL = ONE FOOT.
  - ELEVATIONS BASED ON NAVD83 DATUM. VERTICAL DATUM OBTAINED BY GPS OBSERVATIONS ON SEPTEMBER 22, 2022.
  - THE PROPERTY IS LOCATED WITHIN THE NC-2 NEIGHBORHOOD CONSERVATION ZONING DISTRICT FOR SINGLE-FAMILY ATTACHED DWELLINGS.
  - THERE ARE NO WETLANDS LOCATED ON THE SUBJECT PROPERTY PER THE NATIONAL WETLANDS INVENTORY SEARCHED NOVEMBER 17, 2022.
  - THERE IS NO 100 YEAR FLOODPLAIN LINE SHOWN ON THE PLAN, WHICH WAS EFFECTIVE SEPTEMBER 19, 2017.
  - SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE. THE SOIL CLASSIFICATION FOR THIS ENTIRE SITE IS URBAN LAND-GLADSTONE COMPLEX (LHb).
  - SITE GEOLOGY IS CHARACTERIZED AS (fg) FELSIC GNEISS.
  - THE PROPERTY IS SERVICED BY PUBLIC SEWER AND PUBLIC WATER.
  - THE CLOSEST FIRE HYDRANT IS LOCATED APPROXIMATELY 97 FEET AWAY AT THE CORNER OF S. MATLACK STREET AND DULANEY ALLEY.
  - THE SITE IS TRIBUTARY TO GOOSE CREEK, A TRIBUTARY TO THE CHESTER CREEK WATERSHED. THE CHAPTER 93 DESIGNATION FOR GOOSE CREEK IS T5Mf.
  - COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH-MOVING ACTIVITIES.
  - THE SITE DEVELOPER SHALL BE RESPONSIBLE TO COORDINATE WITH A PROFESSIONAL LAND SURVEYOR TO SET ALL PROPOSED BOUNDARY MONUMENTATION AT THE COMPLETION OF CONSTRUCTION.
  - THE OWNER AND CONTRACTOR ARE RESPONSIBLE TO ENSURE THAT NO DAMAGE OCCURS TO EXISTING CURBING OR ROADWAYS. ANY DAMAGE WILL REQUIRE IMMEDIATE REPAIR TO THE BOROUGH'S SATISFACTION. ADDITIONALLY, WEST CHESTER BOROUGH DOES NOT ACCEPT MUD, DIRT OR DEBRIS TRACKED ONTO EXISTING ROADS. ANY MUD, DIRT OR DEBRIS OFFSITE / ON THE ROADS SHALL BE IMMEDIATELY CLEANED/REMOVED.
  - THERE ARE NO STREETS, RIGHTS-OF-WAY, OR ANY PUBLIC USE INTENDED FOR DEDICATION BY THIS PLAN.
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**LEGEND**

	PROPERTY BOUNDARY
	ADJOINING PROPERTY LINE
	EXISTING RIGHT OF WAY LINE
	EXISTING CURB LINE
	EXISTING ROAD / PAVING
	EXISTING CONCRETE PAD, SIDEWALK OR PATIO
	EXISTING FENCE LINE
	PROPOSED SETBACK LINE
	PROPOSED CURB LINE
	PROPOSED ROAD / PAVING
	PROPOSED CONCRETE SIDEWALK
	PROPOSED MILL & OVERLAY

**PARKING SPACE REQUIREMENTS**

DESCRIPTION	REQUIRED PER DWELLING	PROPOSED PER DWELLING
SINGLE FAMILY DWELLING	2	3
TOTAL SPACES PROVIDED		12

**PROPOSED IMPERVIOUS COVERAGE**

DESCRIPTION	PROPOSED
DWELLINGS	4,752 S.F.
DECKS	0 S.F.
CONCRETE	715 S.F.
PAVING	6,214 S.F.
CURB	76 S.F.
TOTAL PROPOSED IMPERVIOUS	11,757 S.F.

**OWNER OF RECORD:**  
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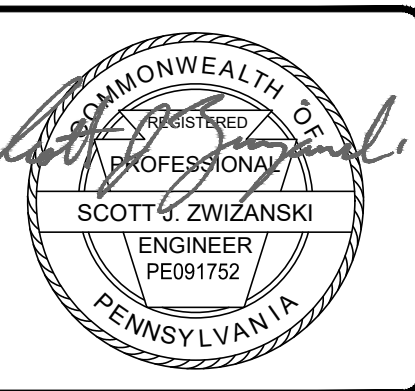
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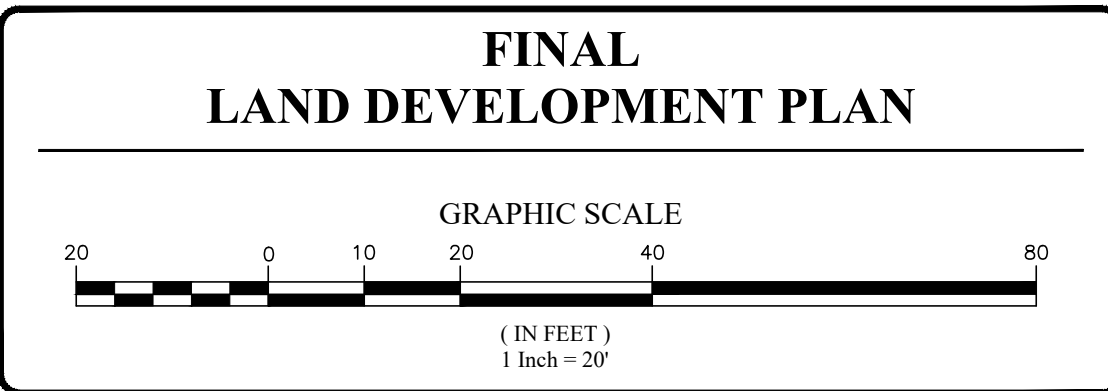
UP1: 1-13-28 | D.B. 6365 | PG. 1507 & UPI: 1-13-29 | D.B. 10921 | PG. 861

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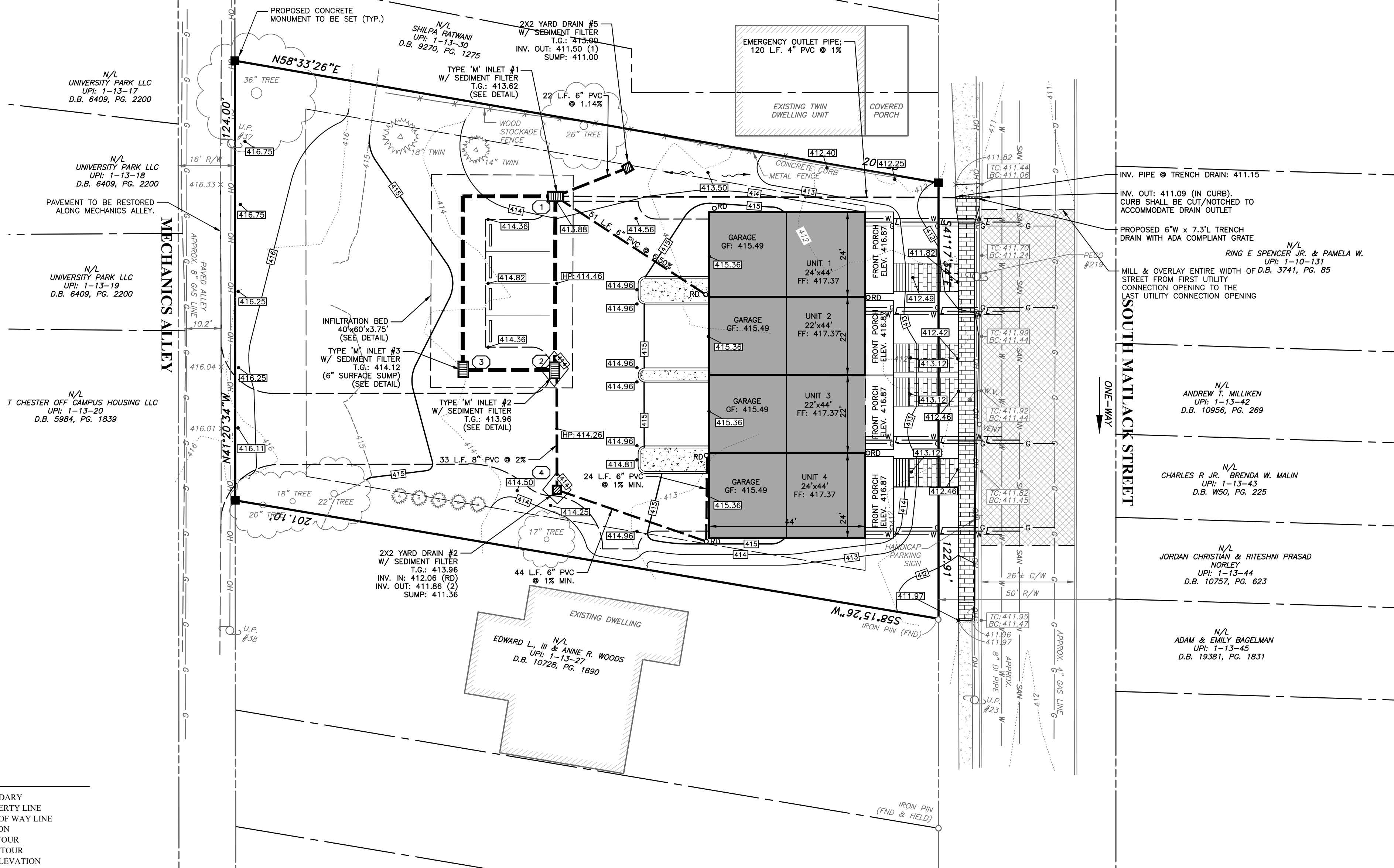
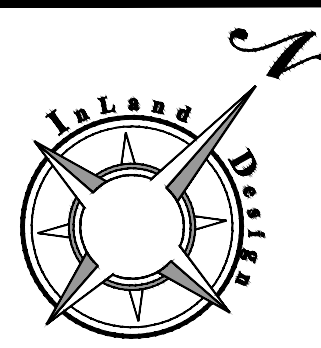
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Date: 01/13/2023  
Scale: 1" = 20'  
Drawn by: DWN  
Checked by: SJZ  
Project No. 11421

**LAYOUT PLAN FOR**  
**MEGILL HOLDINGS, LLC.**  
**732 & 734 S. MATLACK STREET**  
**WEST CHESTER, PA, 19382**  
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA

**SHEET**  
**4**  
**OF 11**



**CONSTRUCTION NOTES:**

- 1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE LOCAL AUTHORITY OR GOVERNING AGENCY OF THE BEGINNING DATE OF CONSTRUCTION AND TO ENSURE THAT NO WORK IS PERFORMED WITHOUT THE REQUIRED PERMITS AND INSPECTIONS BY THE LOCAL AUTHORITY OR GOVERNING AGENCY.
- 2. FOR THE PURPOSES OF THESE PLANS AND GENERAL NOTES, "SITE CONSTRUCTION" SHALL BE CONSTRUED TO MEAN STORMWATER MANAGEMENT FACILITIES, SITE IMPROVEMENTS AND RELATED CONSTRUCTION.
- 3. ALL SITE CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE PDOT PUB. 408, 2009 E.G. AND LATEST ADDENDUM THERETO. CONTRACTOR SHALL PROVIDE CERTIFICATION THAT ALL MATERIAL INCORPORATED INTO THE PROJECT MEET PDOT SPECIFICATIONS.
- 4. CONTRACTOR SHALL COMPLY WITH ALL LAWS AND ORDINANCES APPLICABLE TO THIS TYPE OF CONSTRUCTION.
- 5. CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL DISTANCES, GRADES, QUANTITIES AND ELEVATIONS. POTENTIAL PROBLEMS WHICH MIGHT BE OBSERVED BY THE CONTRACTOR SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY WORK IN THE AREA SHALL CEASE UNTIL A RESOLUTION OF THE POTENTIAL PROBLEM HAS BEEN DETERMINED.
- 6. ALL MATERIALS TO BE PROPERLY DISPOSED.  
A) ALL CLEAN SOIL TO BE DEPOSITED ON SITE AS DIRECTED.  
B) ALL OTHER MATERIAL TO BE REMOVED FROM SITE BY CONTRACTOR.
- 7. CONTRACTOR SHALL PROVIDE ALL BORROW MATERIAL REQUIRED FOR CONSTRUCTION WHICH IS NOT AVAILABLE ON SITE.
- 8. FILL MATERIAL SHALL BE COMPACTED TO NO LESS THAN 97% OF THE MAXIMUM DRY WEIGHT DENSITY (STANDARD PROCTER).
- 9. ALL PAVEMENT JOINTS AND CURB-PAVEMENT JOINTS SHALL BE SEALED USING A "RUBBERIZED JOINT SEAL" AS PER PENNDOT PUBLICATION 408.
- 10. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PAVEMENT MARKINGS, EROSION AND SEDIMENTATION CONTROL AND TRAFFIC MAINTENANCE AND PROTECTION IN ACCORDANCE WITH PENNDOT PUBLICATION 213.
- 11. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND PAYING FOR THE REMOVAL AND OR RELOCATION OF UTILITIES OR OTHER OBSTRUCTIONS IN ORDER TO COMPLETE THE SITE CONSTRUCTION.
- 12. NO EXCAVATION OR FILL MATERIAL SHALL BE GRADED TO A SLOPE GREATER THAN 3:1.
- 13. THERE SHALL BE NO BURYING OF TREES, STUMPS OR CONSTRUCTION MATERIALS. TREES AND STUMPS MAY BE CHIPPED OR GROUND AND DISPOSED OF IN OPEN SPACE AREAS. CONTRACTOR SHALL MAKE EVERY ATTEMPT TO RECYCLE CONSTRUCTION AND ORGANIC MATERIALS TO MINIMIZE WASTE.
- 14. GRADING SHALL BE PERFORMED TO SECURE PROPER DRAINAGE AWAY FROM ALL BUILDINGS AND TO THE STORMWATER COLLECTION AND MANAGEMENT SYSTEM.
- 15. ALL EXISTING POWER POLES, CURBS AND OTHER ABOVE GROUND PHYSICAL FEATURES WHICH WOULD INTERFERE WITH NORMAL USE OF PROPOSED CONSTRUCTION SHALL BE REMOVED AND RELOCATED AS REQUIRED.
- 16. THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITY SERVICE LINES IN THE FIELD PRIOR TO CONSTRUCTION AND ENSURE THAT ALL UTILITIES ARE RELOCATED OR PROTECTED DURING CONSTRUCTION.
- 17. ALL WATERLINE INSTALLATION IS TO BE PERFORMED ACCORDING TO THE SPECIFICATIONS AND DIRECTIVES OF THE GOVERNING AUTHORITY.
- 18. ALL SANITARY SEWER INSTALLATION IS TO BE PERFORMED ACCORDING TO THE SPECIFICATIONS AND DIRECTIVES OF THE GOVERNING AUTHORITY.
- 19. ALL GAS LINE INSTALLATION IS TO BE PERFORMED ACCORDING TO THE SPECIFICATIONS AND DIRECTIVES OF THE GOVERNING AUTHORITY.
- 20. ANY SUBSTANDARD OR DAMAGE CURB ALONG THE PROPERTY FRONTAGE SHALL BE REPLACED.



**LOCATION MAP**  
SCALE: 1" = 200'

**GENERAL NOTES:**

- 1. TOTAL GROSS TRACT AREA = 34,489 S.F. (0.562 ACRES).
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- 9. THERE IS NO 100 YEAR FLOODPLAIN LINE SHOWN ON THE PLAN, WHICH WAS DETERMINED FROM THE REFERENCE FIRM PANEL, MAP NUMBER 42029C0210G, EFFECTIVE SEPTEMBER 19, 2017.
- 10. SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE. THE SOIL CLASSIFICATION FOR THIS ENTIRE SITE IS URBAN LAND-GLADSTONE COMPLEX (Urb).
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**LEGEND**

- PROPERTY BOUNDARY
- ADJOINING PROPERTY LINE
- EXISTING RIGHT OF WAY LINE
- TEST PIT LOCATION
- EXISTING 2' CONTOUR
- EXISTING 10' CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING TREE SYMBOLS
- EXISTING SIGN
- EXISTING CURB LINE
- EXISTING ROAD / PAVING
- EXISTING CONCRETE PAD, SIDEWALK OR PATIO
- EXISTING FENCE LINE
- EXISTING SANITARY STRUCTURES & PIPE
- EXISTING WATER VALVE
- EXISTING WATER LINE
- EXISTING LIGHT
- EXISTING GAS LINE
- EXISTING UTILITY POLE
- EXISTING OVERHEAD WIRE
- PROPOSED SETBACK LINE
- PROPOSED 2' CONTOUR
- PROPOSED 10' CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED CURB LINE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED STORM STRUCTURES & PIPE
- PROPOSED SANITARY LATERAL
- PROPOSED WATER LINE
- PROPOSED GAS LINE
- PROPOSED MILL & OVERLAY

**SOUTH MATLACK STREET**  
ONE-WAY

**SOILS DESCRIPTION**

SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY (ABOUT 6.9 INCHES)	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLOGIC SOIL GROUP
Urb	URBAN LAND-GLADSTONE COMPLEX	0% - 8%	MODERATE	WELL DRAINED	MORE THAN 80 INCHES	60 TO 100 INCHES	2c	A

**OWNER OF RECORD:**  
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29 CHELSEA COURT  
GLEN MILLS, PA 19342

**EQUITABLE OWNER / APPLICANT:**  
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CHADDS FORD, PA 19317

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Pennsylvania One Call System  
PA. act 172 of 1986 requires three working days notice  
**20222571282**

PENNSYLVANIA ACT 187 REQUIREMENTS:  
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**PROFESSIONAL ENGINEER**  
SCOTT G. ZWIZANSKI  
ENGINEER  
PE091752  
PENNSYLVANIA

No.	Date:	Description:
1	4/4/2023	REVISIONS PER MUNICIPAL REVIEWS.
2	5/12/2023	REVISIONS PER MUNICIPAL REVIEWS AND ARCHITECTURAL PLANS

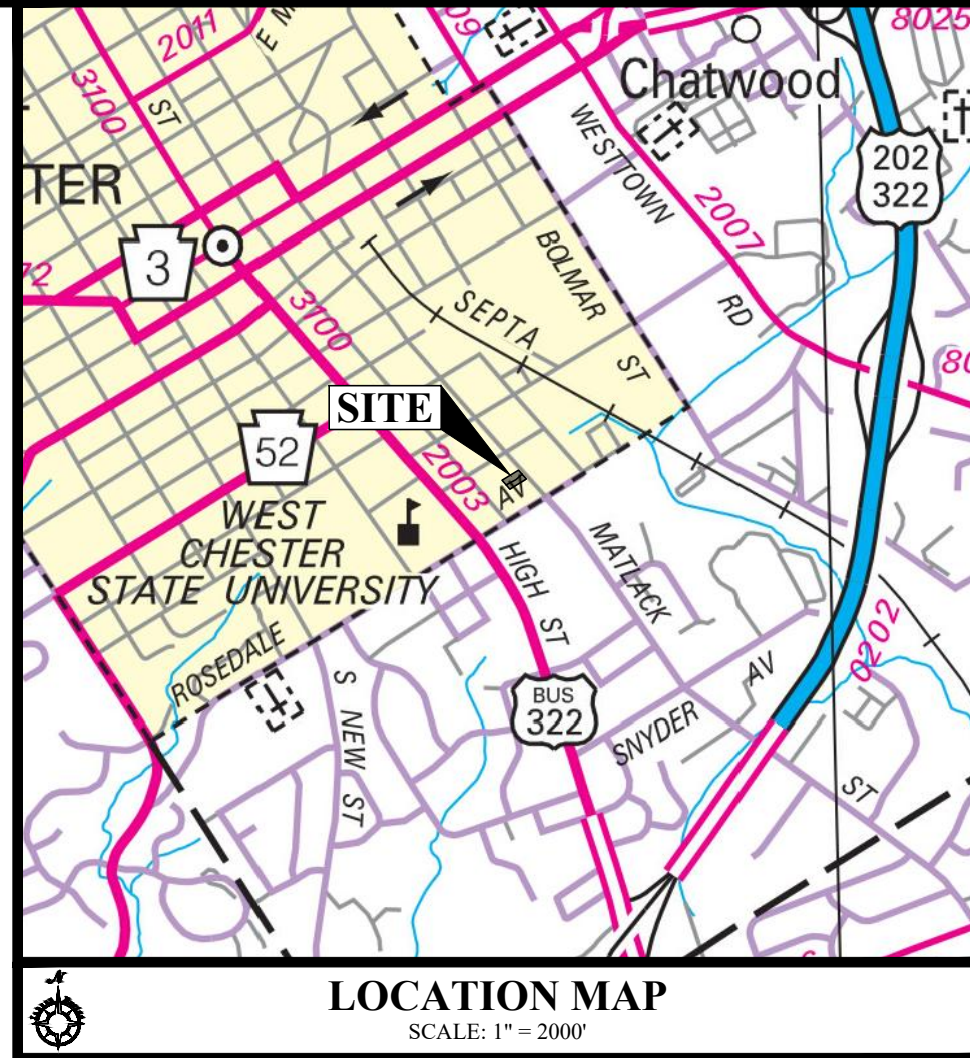
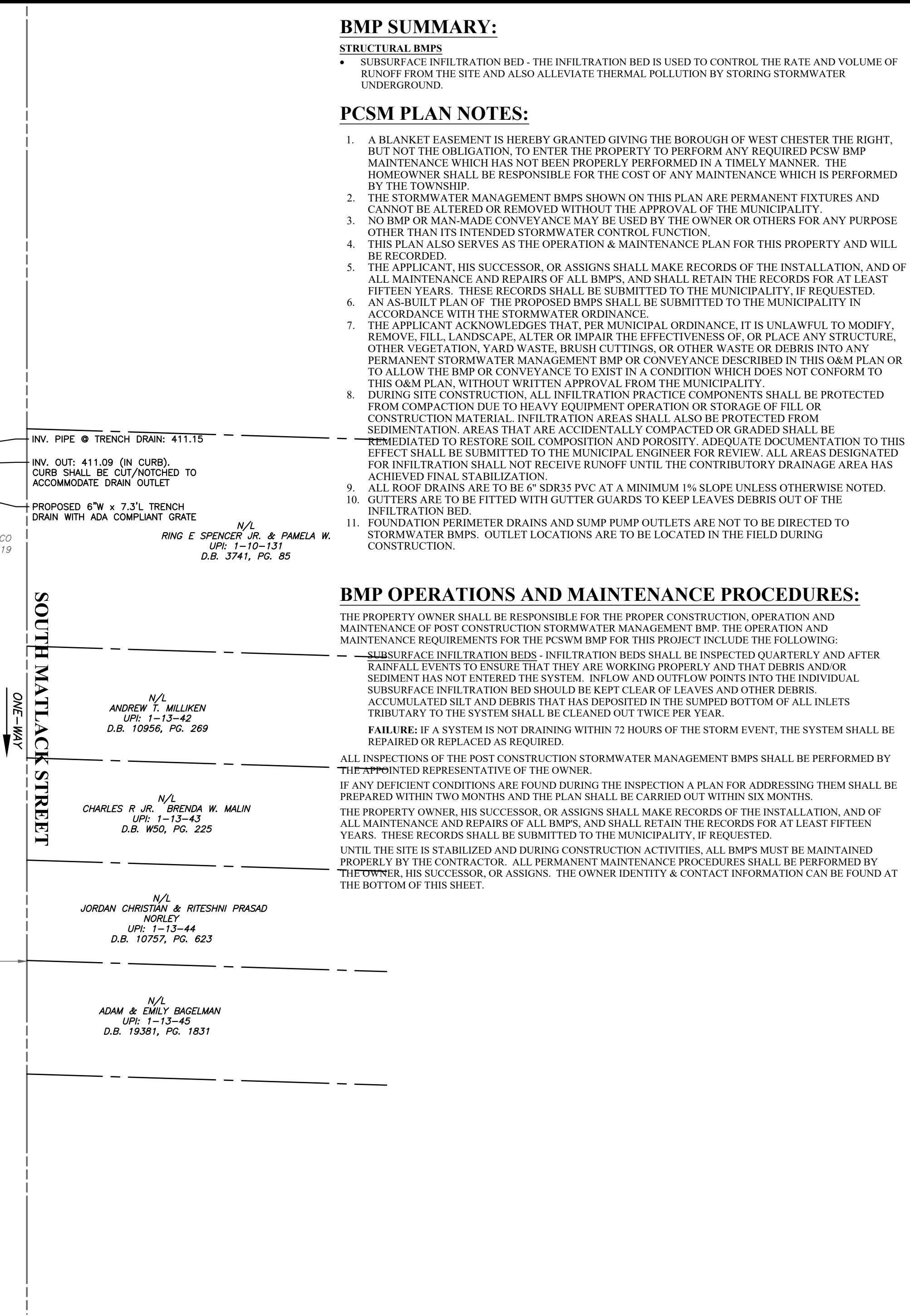
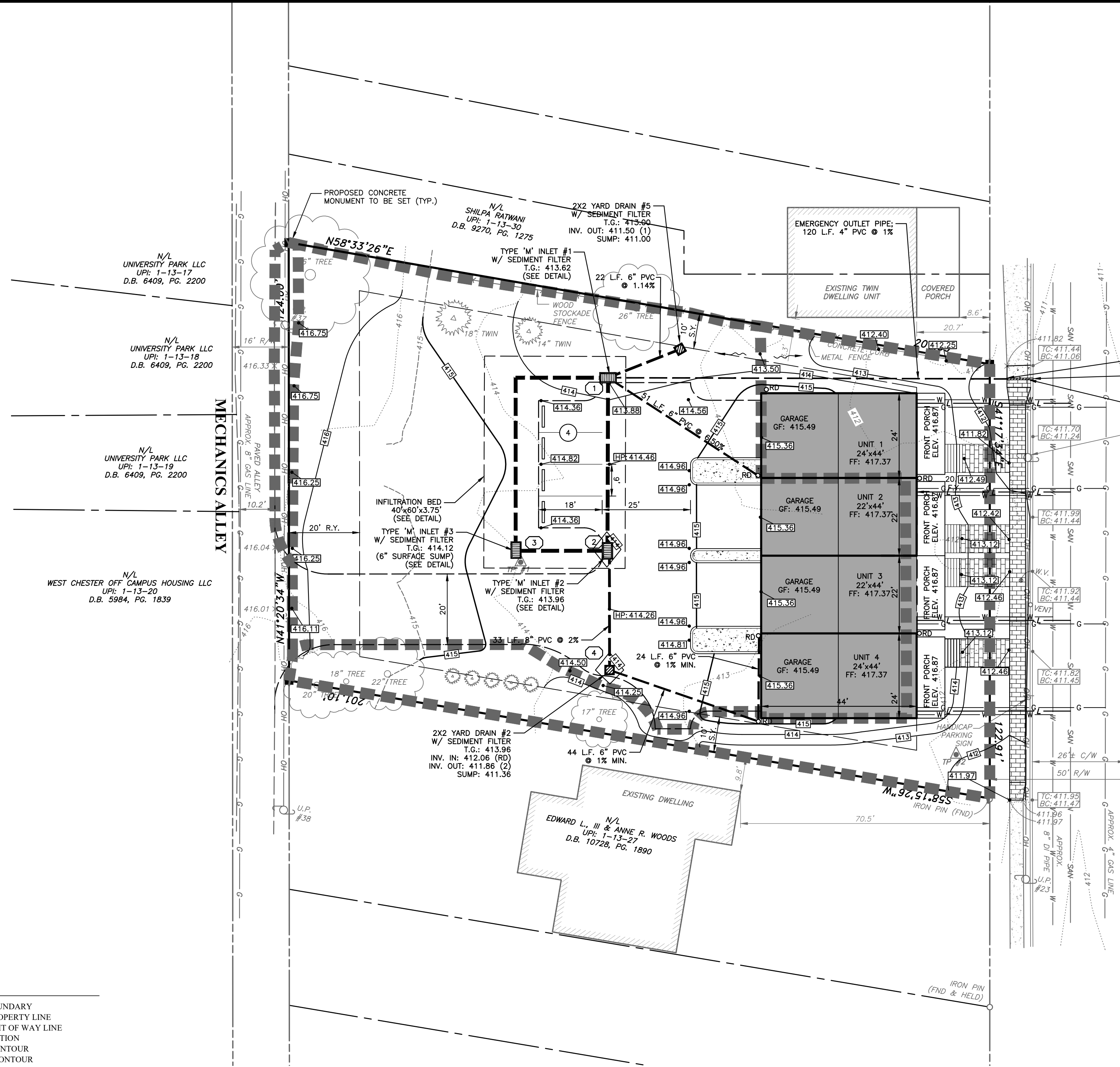
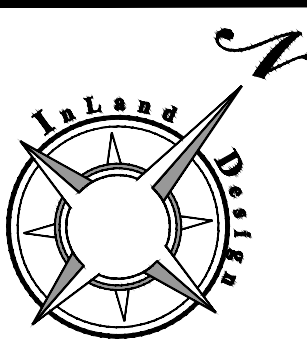
**FINAL LAND DEVELOPMENT PLAN**

GRAPHIC SCALE  
(IN FEET)  
1 inch = 20'

Scale: 1" = 20'  
Drawn by: DWN  
Checked by: SJZ  
Project No. **11421**

**IMPROVEMENTS CONSTRUCTION PLAN FOR**  
**MEGILL HOLDINGS, LLC.**  
**732 & 734 S. MATLACK STREET**  
**WEST CHESTER, PA, 19382**  
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA

**SHEET**  
**5**  
**OF 11**



**LEGEND**

	PROPERTY BOUNDARY
	ADJOINING PROPERTY LINE
	EXISTING RIGHT OF WAY LINE
	TEST PIT LOCATION
	EXISTING 2' CONTOUR
	EXISTING 10' CONTOUR
	EXISTING SPOT ELEVATION
	EXISTING TREE SYMBOLS
	EXISTING SIGN
	EXISTING CURB LINE
	EXISTING ROAD / PAVING
	EXISTING CONCRETE PAD, SIDEWALK OR PATIO
	EXISTING FENCE LINE
	EXISTING SANITARY STRUCTURES & PIPE
	EXISTING WATER VALVE
	EXISTING WATER LINE
	EXISTING LIGHT
	EXISTING GAS LINE
	EXISTING UTILITY POLE
	EXISTING OVERHEAD WIRE
	PROPOSED SETBACK LINE
	PROPOSED 2' CONTOUR
	PROPOSED 10' CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED CURB LINE
	PROPOSED CONCRETE SIDEWALK
	PROPOSED STORM STRUCTURES & PIPE
	PROPOSED SANITARY LATERAL
	PROPOSED WATER LINE
	PROPOSED GAS LINE
	PROPOSED MILL & OVERLAY
	PROPOSED DRAINAGE AREA BOUNDARY

**BMP SUMMARY:**

**STRUCTURAL BMPs**  
• SUBSURFACE INFILTRATION BED - THE INFILTRATION BED IS USED TO CONTROL THE RATE AND VOLUME OF RUNOFF FROM THE SITE AND ALSO ALLEVIATE THERMAL POLLUTION BY STORING STORMWATER UNDERGROUND.

**PCSM PLAN NOTES:**

- A BLANKET EASEMENT IS HEREBY GRANTED GIVING THE BOROUGH OF WEST CHESTER THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER THE PROPERTY TO PERFORM ANY REQUIRED SW BMP MAINTENANCE WHICH HAS NOT BEEN PROPERLY PERFORMED IN A TIMELY MANNER. THE HOMEOWNER SHALL BE RESPONSIBLE FOR THE COST OF ANY MAINTENANCE WHICH IS PERFORMED BY THE TOWNSHIP.
- THE STORMWATER MANAGEMENT BMPs SHOWN ON THIS PLAN ARE PERMANENT FIXTURES AND CANNOT BE ALTERED OR REMOVED WITHOUT THE APPROVAL OF THE MUNICIPALITY.
- NO BMP OR MAN-MADE CONVEYANCE MAY BE USED BY THE OWNER OR OTHERS FOR ANY PURPOSE OTHER THAN ITS INTENDED STORMWATER CONTROL FUNCTION.
- THIS PLAN ALSO SERVES AS THE OPERATION & MAINTENANCE PLAN FOR THIS PROPERTY AND WILL BE RECORDED.
- THE APPLICANT, HIS SUCCESSOR, OR ASSIGNS SHALL MAKE RECORDS OF THE INSTALLATION, AND OF ALL MAINTENANCE AND REPAIRS OF ALL BMPs, AND SHALL RETAIN THE RECORDS FOR AT LEAST FIFTEEN YEARS. THESE RECORDS SHALL BE SUBMITTED TO THE MUNICIPALITY, IF REQUESTED.
- AN AS-BUILT PLAN OF THE PROPOSED BMPs SHALL BE SUBMITTED TO THE MUNICIPALITY IN ACCORDANCE WITH THE STORMWATER ORDINANCE.
- THE APPLICANT ACKNOWLEDGES THAT, PER MUNICIPAL ORDINANCE, IT IS UNLAWFUL TO MODIFY, REMOVE, FILL, LANDSCAPE, ALTER OR IMPAIR THE EFFECTIVENESS OF, OR PLACE ANY STRUCTURE, OTHER VEGETATION, YARD WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO ANY PERMANENT STORMWATER MANAGEMENT BMP OR CONVEYANCE DESCRIBED IN THIS O&M PLAN OR TO ALLOW THE BMP OR CONVEYANCE TO EXIST IN A CONDITION WHICH DOES NOT CONFORM TO THIS O&M PLAN, WITHOUT WRITTEN APPROVAL FROM THE MUNICIPALITY.
- DURING SITE CONSTRUCTION, ALL INFILTRATION PRACTICE COMPONENTS SHALL BE PROTECTED FROM COMPACTION DUE TO HEAVY EQUIPMENT OPERATION OR STORAGE OF FILL OR CONSTRUCTION MATERIAL. INFILTRATION AREAS SHALL ALSO BE PROTECTED FROM SEDIMENTATION. AREAS THAT ARE ACCIDENTALLY COMPACTED OR GRADED SHALL BE REMEDIATED TO RESTORE SOIL COMPOSITION AND POROSITY. ADEQUATE DOCUMENTATION TO THIS EFFECT SHALL BE SUBMITTED TO THE MUNICIPAL ENGINEER FOR REVIEW. ALL AREAS DESIGNATED FOR INFILTRATION SHALL NOT RECEIVE RUNOFF UNTIL THE CONTRIBUTORY DRAINAGE AREA HAS ACHIEVED FINAL STABILIZATION.
- ALL ROOF DRAINS ARE TO BE 6" SDR35 PVC AT A MINIMUM 1% SLOPE UNLESS OTHERWISE NOTED.
- GUTTERS ARE TO BE FITTED WITH GUTTER GUARDS TO KEEP LEAVES DEBRIS OUT OF THE INFILTRATION BED.
- FOUNDATION PERIMETER DRAINS AND SUMP PUMP OUTLETS ARE NOT TO BE DIRECTED TO STORMWATER BMPs. OUTLET LOCATIONS ARE TO BE LOCATED IN THE FIELD DURING CONSTRUCTION.

**BMP OPERATIONS AND MAINTENANCE PROCEDURES:**

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION, OPERATION AND MAINTENANCE OF POST CONSTRUCTION STORMWATER MANAGEMENT BMP. THE OPERATION AND MAINTENANCE REQUIREMENTS FOR THE PCSWM BMP FOR THIS PROJECT INCLUDE THE FOLLOWING:

**SUBSURFACE INFILTRATION BEDS** - INFILTRATION BEDS SHALL BE INSPECTED QUARTERLY AND AFTER RAINFALL EVENTS TO ENSURE THAT THEY ARE WORKING PROPERLY AND THAT DEBRIS AND/OR SEDIMENT HAS NOT ENTERED THE SYSTEM. INFLOW AND OUTFLOW POINTS INTO THE INDIVIDUAL SUBSURFACE INFILTRATION BED SHOULD BE KEPT CLEAR OF LEAVES AND OTHER DEBRIS. ACCUMULATED SILT AND DEBRIS THAT HAS DEPOSITED IN THE SUMPED BOTTOM OF ALL INLETS TRIBUTARY TO THE SYSTEM SHALL BE CLEANED OUT TWICE PER YEAR.

**FAILURE:** IF A SYSTEM IS NOT DRAINING WITHIN 72 HOURS OF THE STORM EVENT, THE SYSTEM SHALL BE REPAIRED OR REPLACED AS REQUIRED.

ALL INSPECTIONS OF THE POST CONSTRUCTION STORMWATER MANAGEMENT BMPs SHALL BE PERFORMED BY THE APPOINTED REPRESENTATIVE OF THE OWNER.

IF ANY DEFICIENT CONDITIONS ARE FOUND DURING THE INSPECTION A PLAN FOR ADDRESSING THEM SHALL BE PREPARED WITHIN TWO MONTHS AND THE PLAN SHALL BE CARRIED OUT WITHIN SIX MONTHS.

THE PROPERTY OWNER, HIS SUCCESSOR, OR ASSIGNS SHALL MAKE RECORDS OF THE INSTALLATION, AND OF ALL MAINTENANCE AND REPAIRS OF ALL BMPs, AND SHALL RETAIN THE RECORDS FOR AT LEAST FIFTEEN YEARS. THESE RECORDS SHALL BE SUBMITTED TO THE MUNICIPALITY, IF REQUESTED.

UNTIL THE SITE IS STABILIZED AND DURING CONSTRUCTION ACTIVITIES, ALL BMPs MUST BE MAINTAINED PROPERLY BY THE CONTRACTOR. ALL PERMANENT MAINTENANCE PROCEDURES SHALL BE PERFORMED BY THE CONTRACTOR, HIS SUCCESSOR, OR ASSIGNS. THE OWNER IDENTITY & CONTACT INFORMATION CAN BE FOUND AT THE BOTTOM OF THIS SHEET.

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**SOILS DESCRIPTION**

SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLOGIC SOIL GROUP
UHB	URBAN LAND-GLADSTONE COMPLEX	0% - 8%	MODERATE (ABOUT 6.9 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 TO 100 INCHES	2c	A

**OWNER'S CERTIFICATION:**

I, \_\_\_\_\_, CERTIFY THAT I AM THE OWNER OF THIS PROPERTY AND ACKNOWLEDGE THAT ANY REVISION TO THE APPROVED PCSWM PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE MUNICIPALITY, AND THAT A REVISED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO, AND APPROVED BY, THE CONSERVATION DISTRICT OR MUNICIPALITY (AS APPLICABLE) FOR A DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF THE REVISED FEATURES.

**ENGINEER'S CERTIFICATION:**

I, SCOTT J. ZWIZANSKI, ON THIS DATE MAY 12, 2023, HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, THAT THE PCSWM PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE BOROUGH OF WEST CHESTER ORDINANCE CHAPTER 94, STORMWATER MANAGEMENT, AS LAST AMENDED.

SCOTT J. ZWIZANSKI, P.E.

**EQUITABLE OWNER / APPLICANT:**

MEGILL HOLDINGS, LLC.  
330 KENNETH PIKE, SUITE 207  
CHADDS FORD, PA 19317

**OWNER OF RECORD:**

HUGHES PROPERTY MANAGEMENT, LLC  
29 CHELSEA COURT  
GLEN MILLS, PA 19342

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Info@InlandDesign.net

SCOTT J. ZWIZANSKI  
REGISTERED PROFESSIONAL ENGINEER  
PE091752  
PENNSYLVANIA

UPI: 1-13-28 | D.B. 6365 | PG. 1507 & UPI: 1-13-29 | D.B. 10921 | PG. 861

**FINAL LAND DEVELOPMENT PLAN**

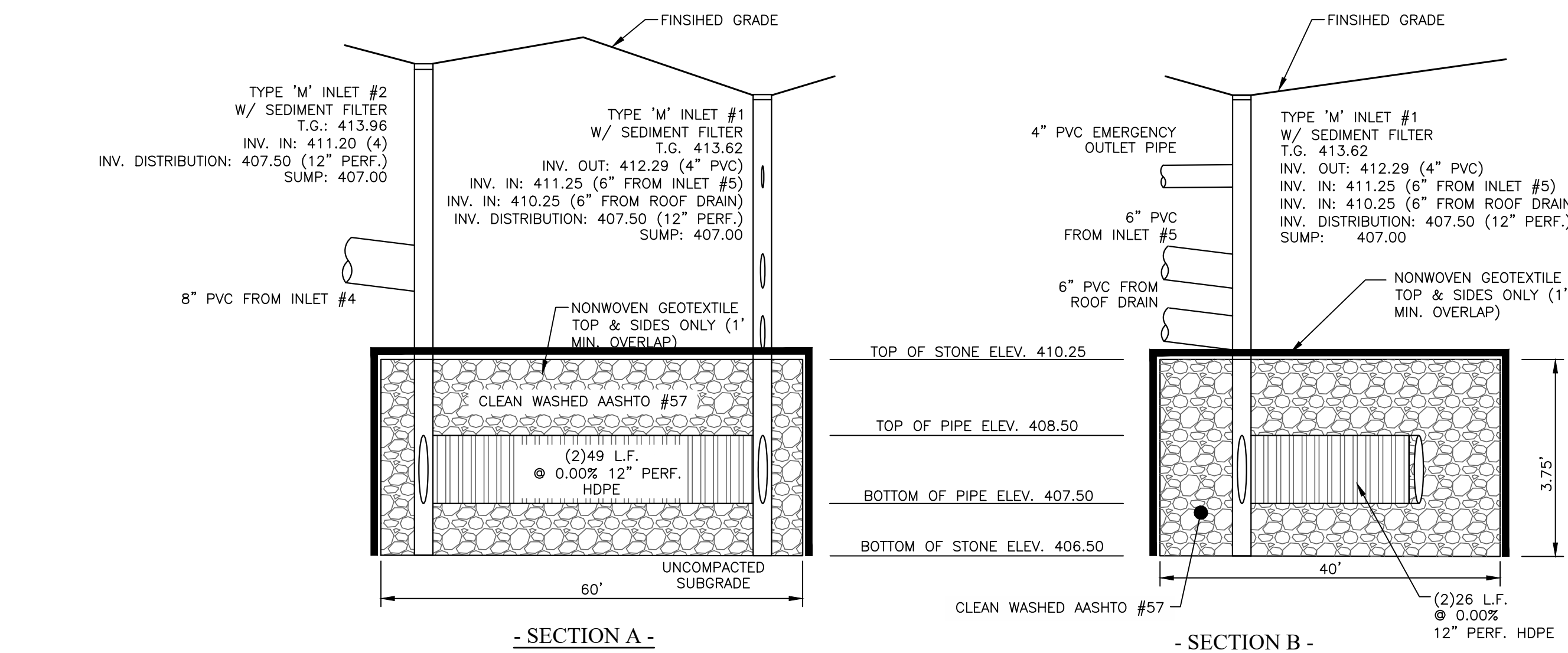
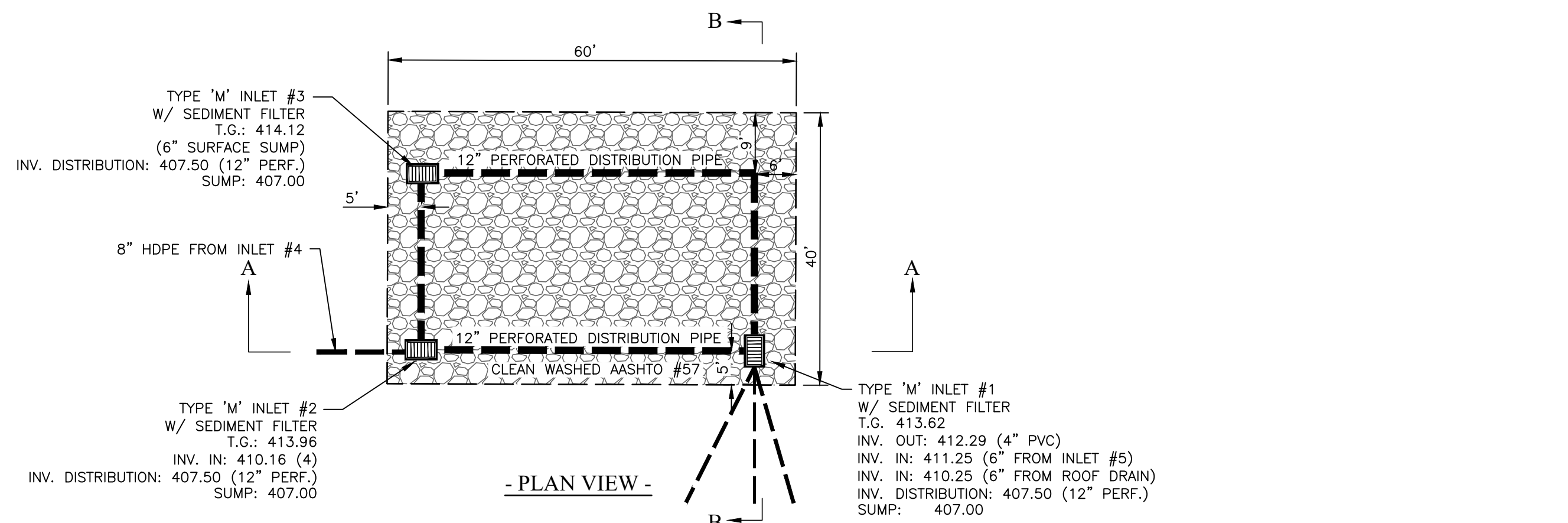
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1 inch = 20'

Date: 01/13/2023  
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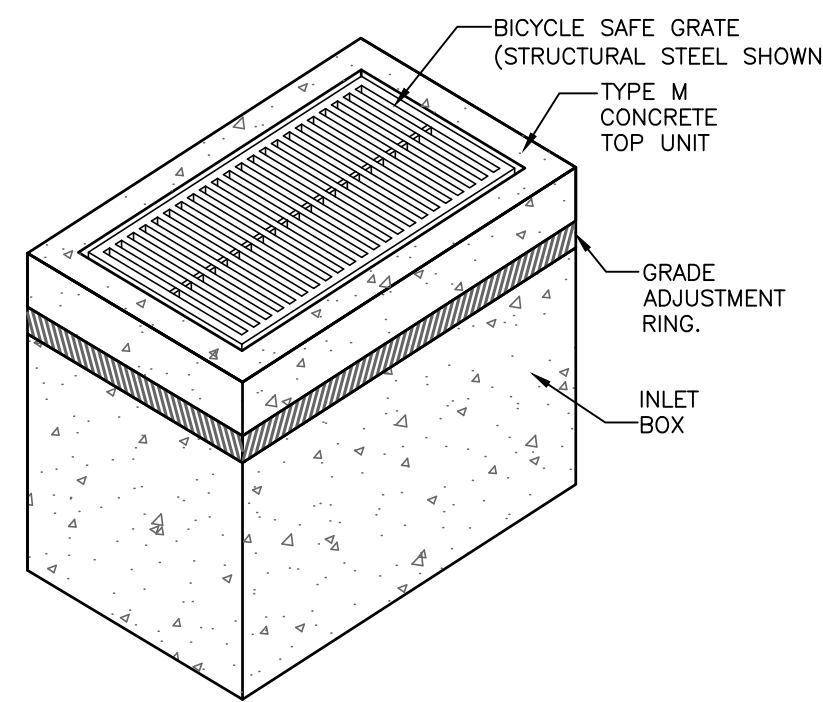
**PCSM PLAN FOR**  
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WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA

**SHEET**  
**6**  
**OF 11**

No.	Date:	Description:
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2	5/12/2023	REVISIONS PER MUNICIPAL REVIEWS AND ARCHITECTURAL PLANS

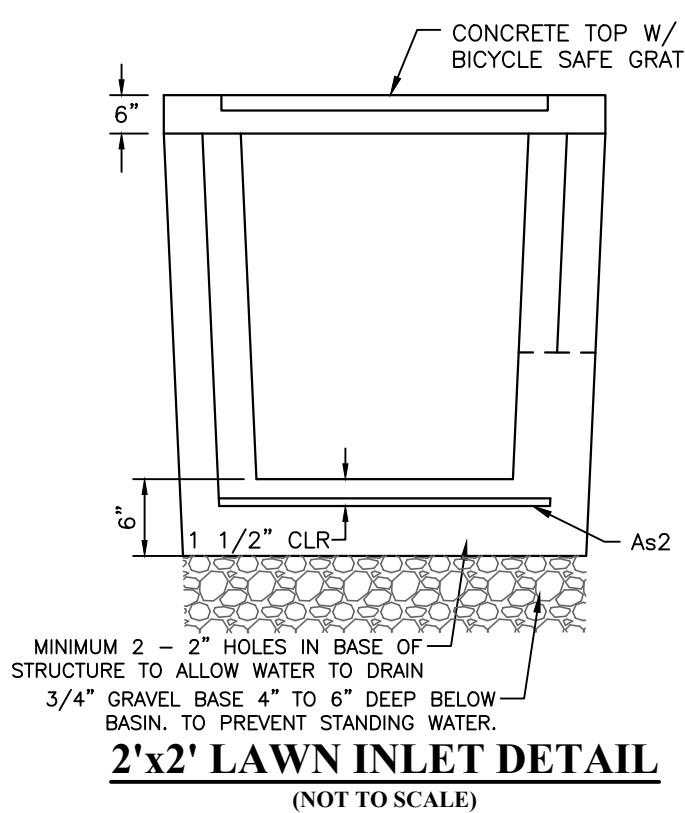


**SUBSURFACE INFILTRATION BED**  
NOT TO SCALE



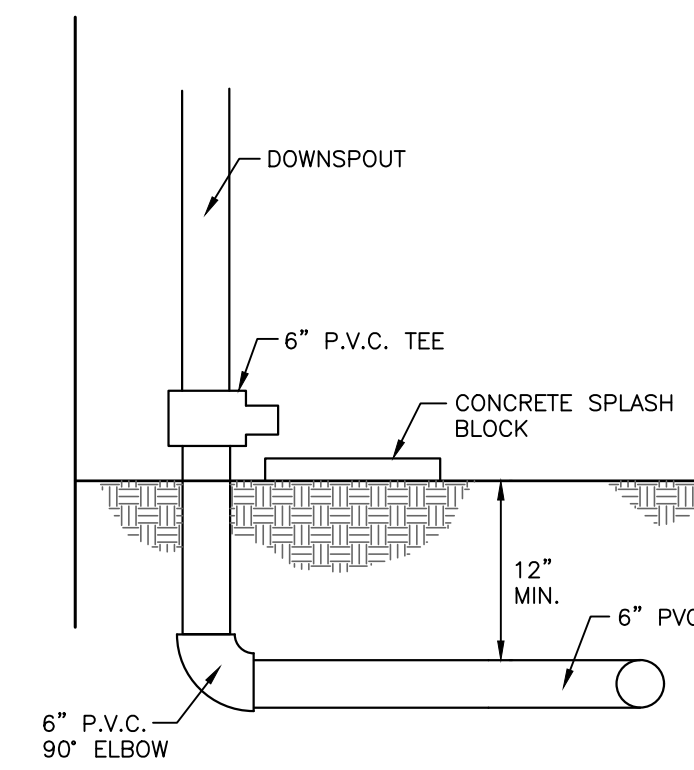
**TYPE 'M' INLET DETAIL**  
(NOT TO SCALE)

NOTE:  
TYPE 'M' INLET AS PER PENNDOT RC-45M & RC-46M

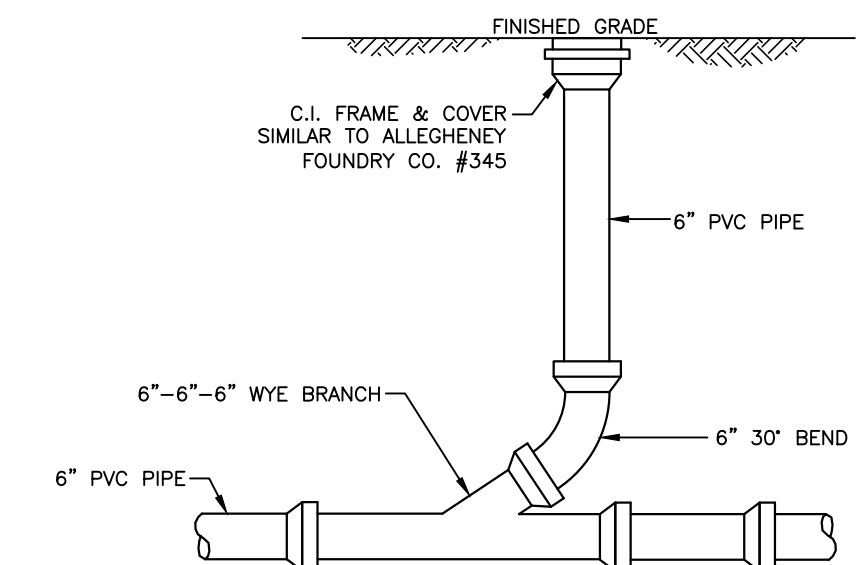


**2'x2' LAWN INLET DETAIL**  
(NOT TO SCALE)

NOTE:  
CONTRACTOR MAY SUBSTITUTE EQUIVALENT CATCH BASIN SUBJECT TO REVIEW AND APPROVAL BY THE MUNICIPALITY.



**DOWNSPOUT OVERFLOW**  
NOT TO SCALE



**ROOF LEADER CLEANOUT  
IN UNPAVED AREA DETAIL**  
NOT TO SCALE

**SUBSURFACE INFILTRATION BED NOTES:**

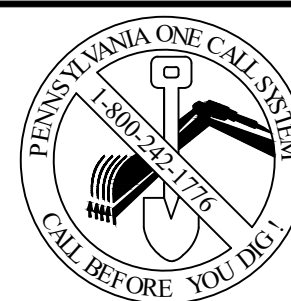
- DURING SITE CONSTRUCTION, THE INFILTRATION BED SHALL BE PROTECTED FROM COMPACTION DUE TO HEAVY EQUIPMENT OPERATION OR STORAGE OF FILL OR CONSTRUCTION MATERIAL AND SHALL ALSO BE PROTECTED FROM SEDIMENTATION. AREAS THAT ARE ACCIDENTALLY COMPACTED OR GRADED SHALL BE REMEDIATED TO RESTORE SOIL COMPOSITION AND POROSITY. ADEQUATE DOCUMENTATION TO THIS EFFECT SHALL BE SUBMITTED TO THE MUNICIPAL ENGINEER FOR REVIEW. THE INFILTRATION BED SHALL NOT RECEIVE RUNOFF UNTIL THE CONTRIBUTORY DRAINAGE AREA HAS ACHIEVED FINAL STABILIZATION.
- IT IS RECOMMENDED THAT A SOILS ENGINEER OR REPRESENTATIVE THEREOF IS PRESENT ON-SITE DURING THE CONSTRUCTION OF THE STORMWATER MANAGEMENT SYSTEM IN ORDER TO ENSURE THE SYSTEM WAS CONSTRUCTED AS DESIGNED AND TO OVERSEE THE EXCAVATION OF THE FINE GRAIN SOILS. GIVEN THE LOCALIZED INVESTIGATIONS, IT IS PARAMOUNT THAT THE ENTIRE FACILITY BOTTOM BE VERIFIED TO BE SITUATED WITHIN THE CORRECT INFILTRATION STRATUM.
- THE CONTRACTOR IS TO ENSURE THAT THERE IS NO PRECIPITATION IN THE FORECAST FOR THE DURATION OF THE INFILTRATION BED CONSTRUCTION.
- APPROPRIATE, PERMANENT MEASURES, AS SHOWN ON THE PLAN, SHALL BE IMPLEMENTED TO PROTECT THE INFILTRATION BED FROM SEDIMENT LADEN RUNOFF ENTERING IT.
- ROOF DRAINS DISCHARGING TO THE INFILTRATION BED SHALL HAVE APPROPRIATE MEASURES TO PREVENT CLOGGING BY UNWANTED DEBRIS (FOR EXAMPLE, SILT, LEAVES AND VEGETATION). THESE MEASURES MAY INCLUDE, BUT ARE NOT LIMITED TO, LEAF TRAPS, GUTTER GUARDS AND CLEANOUTS.
- THE FOLLOWING PROCEDURES AND MATERIALS SHALL BE REQUIRED DURING THE CONSTRUCTION OF THE INFILTRATION BED:
  - EXCAVATION FOR THE INFILTRATION BED SHALL BE PERFORMED WITH EQUIPMENT THAT WILL NOT COMPACT THE BOTTOM OF THE BED.
  - THE BOTTOM OF THE BED SHALL BE SCARIFIED PRIOR TO THE PLACEMENT OF AGGREGATE.
  - ONLY CLEAN AGGREGATE WITH DOCUMENTED POROSITY, FREE OF FINES, SHALL BE ALLOWED.
  - THE TOP AND SIDES OF THE INFILTRATION BED SHALL BE COVERED WITH DRAINAGE FABRIC. FABRIC SHALL BE NON-WOVEN FABRIC ACCEPTABLE TO THE MUNICIPAL ENGINEER.
  - STORMWATER SHALL BE DISTRIBUTED THROUGHOUT THE ENTIRE INFILTRATION BED AND PROVISIONS FOR THE COLLECTION OF DEBRIS SHALL BE PROVIDED AS SHOWN ON THE PLAN.

**SUBSURFACE INFILTRATION BED  
CONSTRUCTION SEQUENCE :**

- THE INSTALLATION OF THE SUBSURFACE INFILTRATION BEDS SHALL BE DONE DURING NON-RAINY PERIODS TO PREVENT SEDIMENT DEPOSITION AND CLOGGING OF THE SOIL STRUCTURE.
- EXCAVATE THE SUBSURFACE INFILTRATION BED TO THE PROPOSED BOTTOM. EXCAVATION SHALL BE DONE IN A MANNER THAT DOES NOT DISTURB THE SOIL STRUCTURE OF THE INFILTRATION ZONE. INSTALL 12" FILTER SOCK ALONG THE UPSLOPE PERIMETER OF THE EXCAVATED AREA TO PREVENT RUNOFF FROM UNSTABILIZED AREAS FROM ENTERING THE INFILTRATION AREA. IF UNFAVORABLE CONDITIONS, SUCH AS GROUNDWATER AND/OR FACILITY ROCK, ARE ENCOUNTERED DURING INSTALLATION OF THE SUBSURFACE INFILTRATION BED, CONSTRUCTION SHALL CEASE AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED. AN ALTERNATIVE SYSTEM SUITABLE TO THE FIELD CONDITIONS SHALL BE DESIGNED AND APPROVED BY THE MUNICIPALITY AND THE CONSERVATION DISTRICT PRIOR TO FURTHER INSTALLATION BY THE CONTRACTOR.
- SCARIFY THE BOTTOM OF THE EXCAVATION, PLACE FILTER FABRIC IN THE EXCAVATION AND TACK IT UP TO THE SIDES. ALLOW SUFFICIENT FABRIC TO OVERLAP THE TOP OF THE FACILITY.
 

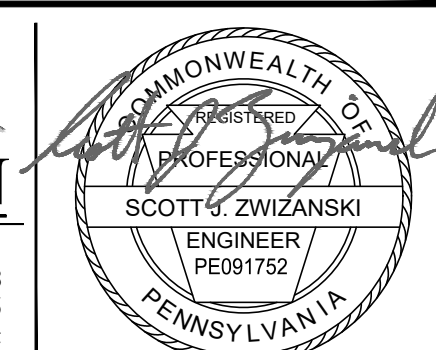
NOTE: SUBSURFACE INFILTRATION BED FILTER FABRIC AND STONE SHALL BE KEPT CLEAN OF SOIL SEDIMENT DURING THE INSTALLATION PROCESS. IF INSPECTION INDICATES THAT SOIL SEDIMENT HAS ENTERED THE SUBSURFACE INFILTRATION BED, APPROPRIATE MEASURES (I.E., CLEANING THE SOIL SEDIMENT FROM THE FABRIC, STONE, EXCAVATION, ETC. AND OR REPLACEMENT OF THE FABRIC AND STONE). PIECES OF FILTER FABRIC SHALL BE INSTALLED WITH A 12" OVERLAP 12" ON ALL SEAMS.
- PLACE AASHTO #57 STONE IN THE BOTTOM OF THE FACILITY AND EVENLY DISTRIBUTE ON THE BOTTOM. CARE SHALL BE TAKEN TO ENSURE THAT THE FILTER FABRIC IN THE FACILITY IS NOT TORN DURING INSTALLATION. ALL STONE SHALL BE UNIFORMLY GRADED, CLEAN WASHED AGGREGATE. THE STONE SHALL BE CHECKED AND APPROVED BY THE DESIGN OR SITE ENGINEER BEFORE INSTALLATION INTO THE FACILITY TO ENSURE THAT IT IS CLEAN WASHED STONE.
- INSTALL THE INLETS AND DISTRIBUTION PIPE AS SHOWN ON THE PLAN & DETAIL. IMMEDIATELY INSTALL INLET SEDIMENT FILTERS. COMPLETE BACKFILLING OF STONE IN THE FACILITY TO THE LEVEL SHOWN AS TOP OF STONE IN THE DETAIL. PROVIDE OPENING IN THE FILTER FABRIC FOR THE INFLOW PIPES.
- COMPLETE PLACEMENT OF THE STONE IN THE SUBSURFACE INFILTRATION BED. OVERLAP FILTER FABRIC ON TOP OF THE SUBSURFACE INFILTRATION BED. BACKFILL OVER THE SUBSURFACE INFILTRATION BED WITH SOIL TO FINISHED GRADE. STABILIZE AREA OVER UNDERGROUND FACILITY WITH PERMANENT MEASURES AS STATED ON THE EROSION AND SEDIMENT CONTROL PLAN. INSTALL WATERTIGHT COVERS ON ALL TRIBUTARY INLETS UNTIL THE SUBSURFACE INFILTRATION BED DRAINAGE AREA IS STABILIZED TO PREVENT CONTAMINATION OF STONE WITHIN THE SUBSURFACE INFILTRATION BED.
- ALL INLETS SHALL BE GIVEN A FINAL INSPECTION AFTER THE SITE HAS BEEN STABILIZED TO ENSURE THEY ARE FREE OF SEDIMENT.

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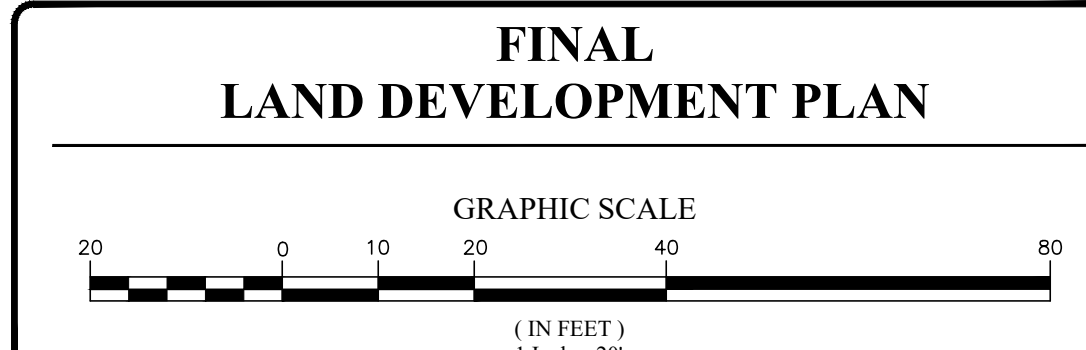


Pennsylvania One Call System  
PA. act 172 of 1986 requires  
three working days notice  
Serial Numbers  
**20222571282**  
PENNSYLVANIA ACT 187 REQUIREMENTS:  
Inland Design, LLC does not guarantee the accuracy of the location for existing subsurface utility structures shown on the plans, nor does Inland Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

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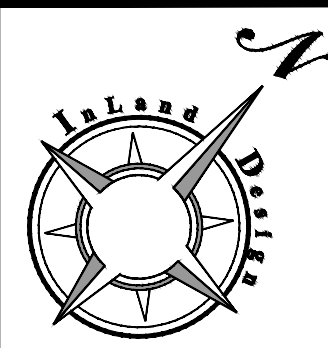
No.	Date:	Description:
1	4/4/2023	REVISIONS PER MUNICIPAL REVIEWS.
2	5/12/2023	REVISIONS PER MUNICIPAL REVIEWS AND ARCHITECTURAL PLANS



Date: 01/13/2023  
Scale: AS NOTED  
Drawn by: DWN  
Checked by: SJZ  
Project No. 11421

**PCSM DETAILS  
FOR  
MEGILL HOLDINGS, LLC.  
732 & 734 S. MATLACK STREET  
WEST CHESTER, PA, 19382  
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA**

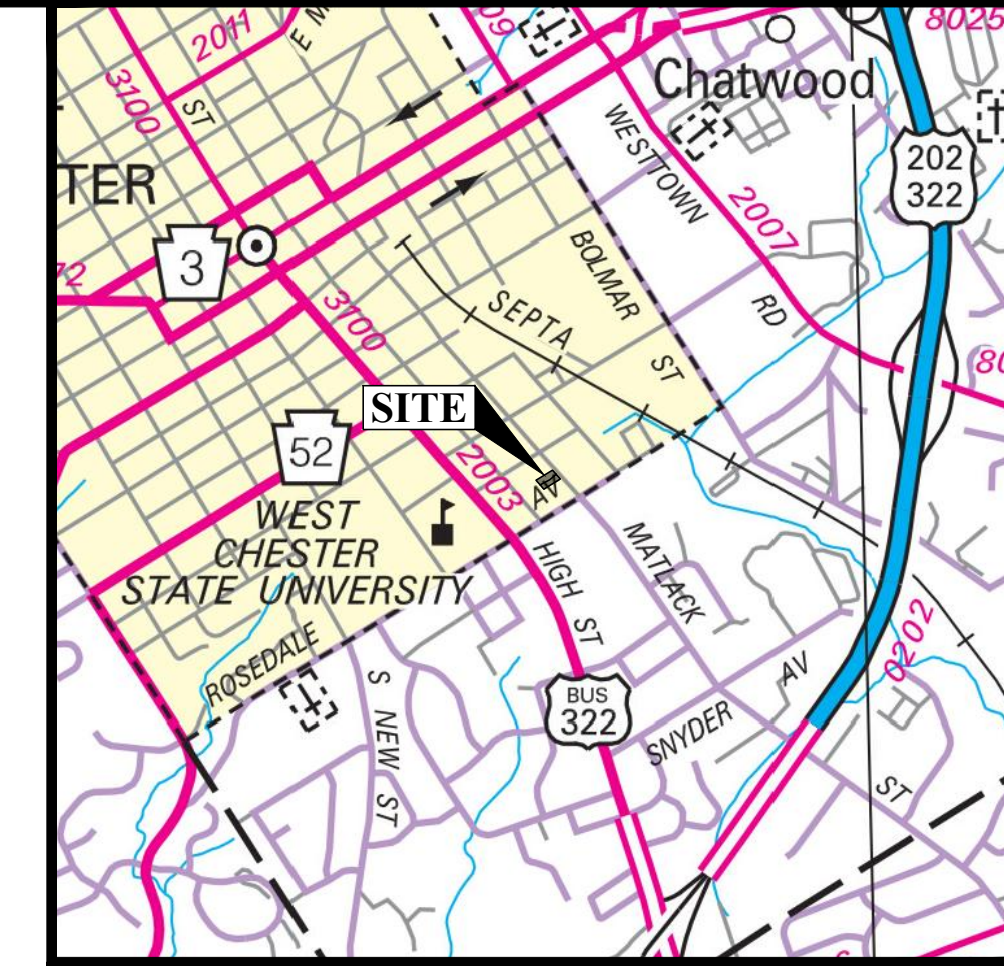
**S H E E T  
7  
OF 11**



### TEMPORARY SITE STABILIZATION - SECTION 102.22(b)

"UPON TEMPORARY CESSATION OF AN EARTH DISTURBANCE ACTIVITY OF ANY STAGE OR PHASE OF AN ACTIVITY WHERE A CESSATION OF EARTH DISTURBANCE ACTIVITIES WILL EXCEED 4 DAYS, THE SITE SHALL BE IMMEDIATELY SEEDED, MULCHED, OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION PENDING FUTURE EARTH DISTURBANCE ACTIVITIES."

- E&S BMPs MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.
- ANY DISTURBED AREA THAT IS NOT AT FINAL GRADE OR WHERE THERE HAS BEEN A CESSATION OF EARTHMOVING ACTIVITY SHALL BE PLANTED WITH A TEMPORARY SEED MIX AND MULCHED. AREAS THAT ARE TO BE EXPOSED FOR MORE THAN ONE YEAR SHALL BE SEEDED WITH PERMANENT SEED MIX AND MULCHED. SEEDBED PREPARATION AND SEEDING METHODS:
  - LIME - AGRICULTURAL GRADE LIMESTONE  
A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY LIME AT THE FOLLOWING RATE:  
LIME = 1.0 TON PER ACRE (40 LBS. PER 1,000 S.F.)
  - FERTILIZER - COMMERCIAL TYPE 10-10-20  
A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY FERTILIZER AT THE FOLLOWING RATE:  
FERTILIZER = 500 LBS. PER ACRE (12.5 LBS. PER 1,000 S.F.)
  - TEMPORARY SEED MIXTURE  
ANNUAL RYEGRASS IS A QUICK GERMINATING SPECIES OF GRASS, WHICH CAN BE SEEDED DURING MOST TIME PERIODS. IF YOU PLAN TO LEAVE THE PROJECT DISTURBED AND INACTIVE FOR MORE THAN TWENTY (20) DAYS, TEMPORARY SEEDING SHALL BE APPLIED IMMEDIATELY. IF THE SITE IS TO REMAIN INACTIVE FOR ONE YEAR OR MORE, A PERMANENT SEED MIX IS NECESSARY.  
ANNUAL RYEGRASS = 40 LBS. PER ACRE (1 LB. PER 1,000 S.F.)  
NOTE: ALL MIXTURES GIVEN ABOVE ARE FOR PURE LIVE SEED 100% (PLS 100%)
  - MULCH  
ALL AREAS THAT ARE SEEDED SHALL BE MULCHED. MULCHING MAY BE USED AS A TEMPORARY STABILIZATION IN SOME DISTURBED AREAS IN NON-GERMINATING SEASONS. MULCH IS A LOOSE LAYER 3/4" TO 1" DEEP OF CLEAN STRAW OR HAY. STRAW OR HAY MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN, AND SHALL BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION. NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON SLOPES 3:1 AND STEEPER. MULCH SHALL BE APPLIED AT THE FOLLOWING RATE:  
STRAW/HAY = 3 TONS PER ACRE (140 LBS. PER 1,000 S.F.)



LOCATION MAP  
SCALE: 1" = 200'

### SEQUENCE OF CONSTRUCTION

ALL EARTH DISTURBANCE ACTIVITY SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES INCLUDING BUT NOT LIMITED TO: THE LANDOWNER AND ALL APPROPRIATE MUNICIPAL OFFICIALS FOR AN ON-SITE PRE-CONSTRUCTION MEETING.

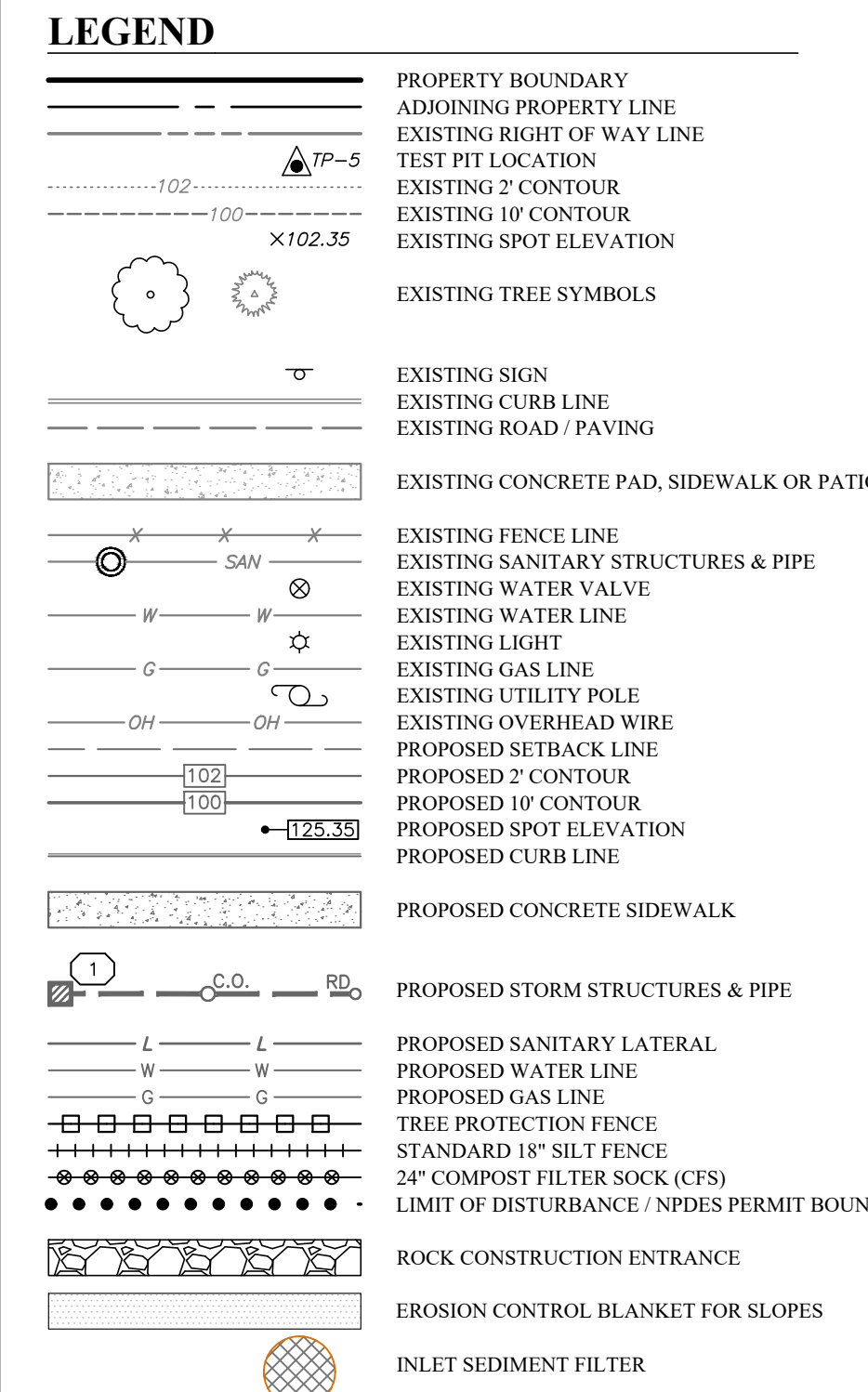
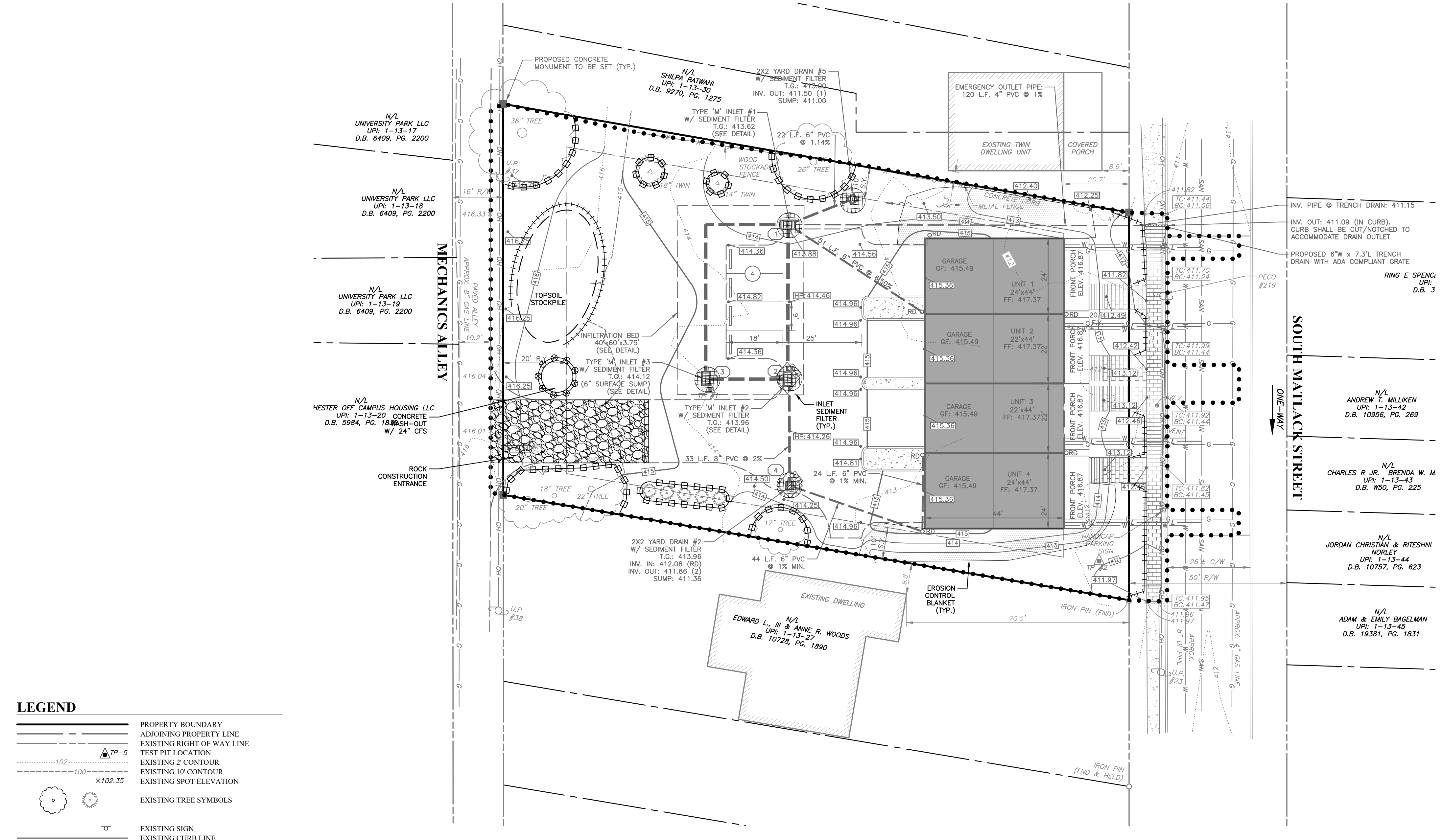
THE PROFESSIONAL DESIGN ENGINEER, GEOTECHNICAL ENGINEER, SOILS PROFESSIONAL, AND/OR DESIGNER MUST BE PRESENT ON-SITE FOR INSPECTIONS OF THE OVERALL FUNCTIONALITY OF THE STORMWATER BMPs  
ANY DISTURBED AREA WHERE THERE WILL BE A CESSATION OF ACTIVITY FOR FOUR DAYS OR LONGER MUST BE STABILIZED WITH TEMPORARY STABILIZATION.

- DELINEATE THE LIMITS OF DISTURBANCE AND INSTALL TREE PROTECTION FENCING AS SHOWN ON THE PLAN AND DETAILS. THE LIMITS OF DISTURBANCE MUST BE CLEARLY MARKED IN THE FIELD PRIOR TO GENERAL EARTH DISTURBANCE.
- INSTALL FOR ROCK CONSTRUCTION ENTRANCE, SILT FENCE AND PERIMETER EROSION CONTROLS AS SHOWN ON THE PLAN AND ACCORDING TO DETAILS.
- REMOVE ALL TREES THAT NEED TO BE REMOVED AS NOTED ON THE PLAN.
- DEMOLISH ALL EXISTING STRUCTURES, FEATURES AND PAVEMENT AS SHOWN ON THE PLAN. REMOVE ALL DEMOLISHED MATERIAL FROM THE SITE.
- CLEAR, GRUB AND BEGIN ROUGH GRADING OPERATIONS. STOCKPILE TOPSOIL IN DESIGNATED AREA.
- INSTALL SUBSURFACE INFILTRATION BED ACCORDING TO THE INFILTRATION BED SEQUENCE OF CONSTRUCTION.
- INSTALL SANITARY SEWER, WATER LATERALS AND GAS LATERALS WHEN APPROPRIATE.
- BEGIN HOUSE CONSTRUCTION.
- INSTALL STORM SEWER AND ROOF DRAIN CONNECTIONS TO INFILTRATION BED. YARD DRAINS SHALL HAVE SEDIMENT FILTER INSTALLED IMMEDIATELY AND BE BLOCKED UNTIL THE SITE IS STABILIZED.
- INSTALL DRIVEWAY BINDER COURSE.
- SEED AND MULCH ALL DISTURBED AREAS.
- ONCE LOTS ARE CONSTRUCTED AND PERMANENTLY STABILIZED (VEGETATED AREAS MUST HAVE A UNIFORM 70% VEGETATIVE COVER), AND AFTER A SITE INSPECTION AND APPROVAL FROM THE BOROUGH, REMOVE ANY REMAINING EROSION CONTROLS.
- INSTALL DRIVEWAY WEARING COURSE AND REMOVE SEALS FROM INLETS.

### SECTION 102.22(a) - PERMANENT SITE STABILIZATION

"UPON FINAL COMPLETION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY, THE SITE SHALL IMMEDIATELY HAVE TOPSOIL RESTORED, REPLACED, OR AMENDED, BE SEEDED, MULCHED OR OTHERWISE PERMANENTLY STABILIZED AND PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION."

- E&S BMPs SHALL REMAIN FUNCTIONAL UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER APPROVED BMP.
- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT CONTROL BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT PCSM BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs MUST BE STABILIZED IMMEDIATELY.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES (6 TO 12 INCHES ON COMPACTED SOILS) PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE ORP SHALL STABILIZE ALL DISTURBED AREAS DURING NON-GERMINATING PERIODS. MULCH OR PROTECTIVE BLANKETING MUST BE APPLIED AT SPECIFIED RATES. AREAS NOT AT FINISHED GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT STABILIZATION SPECIFICATIONS.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs.
- MEASURES AND SPECIFICATIONS FOR LONG TERM PROTECTION USE DURING EARTHMOVING: PERMANENT SEEDING - AREAS NOT PAVED SHALL BE PLANTED WITH PERMANENT SEED MIXTURE AND MULCHED. SEEDBED PREPARATION AND SEEDING METHODS:
  - LIME - AGRICULTURAL GRADE LIMESTONE  
A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY LIME AT THE FOLLOWING RATE:  
LIME = 6 TONS PER ACRE (240 LBS. PER 1,000 S.F.)
  - FERTILIZER - COMMERCIAL TYPE 10-10-20  
A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY FERTILIZER AT THE FOLLOWING RATE:  
FERTILIZER = 1,000 LBS. PER ACRE (25 LBS. PER 1,000 S.F.)  
IF TEMPORARY SEEDING IS NECESSARY, DIVIDE THE FERTILIZER AND LIME RECOMMENDATIONS NOTED ABOVE IN HALF. APPLY THE FOLLOWING AS PART OF THE TEMPORARY SEEDING:  
LIME = 1.0 TON PER ACRE (40 LBS. PER 1,000 S.F.)  
FERTILIZER = 500 LBS. PER ACRE (12.5 LBS. PER 1,000 S.F.)  
APPLY THE REMAINDER AT THE TIME OF FINAL SEEDING AT THE FOLLOWING RATE:  
LIME = 5.0 TONS PER ACRE (200 LBS. PER 1,000 S.F.)  
FERTILIZER = 500 LBS. PER ACRE (12.5 LBS. PER 1,000 S.F.)
  - PERMANENT SEED MIXTURE  
IT IS RECOMMENDED THAT THE PENN STATE UNIVERSITY "AGRONOMY GUIDE" BE CONSULTED. THE FOLLOWING MIXTURE WILL MEET THE REQUIREMENTS OF CHAPTER 102:  
(A) ANNUAL RYEGRASS (ANCHOR MATERIAL) IS TO BE SEEDED WITH ALL PERMANENT SEED MIXES AS COVER/NURSE CROP (ANCHORING METHOD). SEEDING RATE (RATE OF ANCHORING) = 40 LBS. PER ACRE (1 LB. PER 1,000 S.F.)  
(B) TURF LAWN AND MOWED AREAS (SUNNY):  
60% KENTUCKY BLUEGRASS  
20% CHEWINGS FESCUE  
20% PERENNIAL RYEGRASS  
SEEDING RATE = 170 LBS. PER ACRE (4 LBS. PER 1,000 S.F.)  
PLANTING DATES = 4/1 - 5/31 AND 8/6 - 10/15  
(C) NOTE: ALL MIXTURES GIVEN ABOVE ARE FOR PURE LIVE SEED 100% (PLS 100%)  
EXAMPLE TO DETERMINE HOW MUCH SEED TO PLANT:  
CALCULATE PLS% FOR 85% PURE SEED WITH 72% GERMINATION: 85 X 72 / 100 = 61% PLS  
DIVIDE THE PLS% INTO ONE HUNDRED (100): 100 / 61 = 1.63  
THUS, FOR EVERY 1 POUND OF SEED MIXTURE SPECIFIED, 1.63 LBS SHOULD BE APPLIED.
- MULCH  
ALL AREAS THAT ARE SEEDED SHALL BE MULCHED. MULCH IS A LOOSE LAYER 3/4" TO 1" DEEP OF CLEAN STRAW OR HAY. STRAW OR HAY MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN, AND SHALL BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION. NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON SLOPES 3:1 AND STEEPER. MULCH SHALL BE APPLIED AT THE FOLLOWING RATE:  
STRAW/HAY = 3 TONS PER ACRE (140 LBS. PER 1,000 S.F.)
- EROSION CONTROL BLANKET  
ALL SLOPES 3:1 OR STEEPER, AS WELL AS ALL DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER (WITH 100 FEET FOR HQ OR EV WATERS) MUST BE STABILIZED WITH EROSION CONTROL BLANKET.



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Pennsylvania One Call System  
PA. act 172 of 1986 requires three working days notice  
Serial Numbers:  
**20222571282**

PENNSYLVANIA ACT 187 REQUIREMENTS:  
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Professional Engineer  
SCOTT G. ZWIZANSKI  
ENGINEER  
PE091752  
PENNSYLVANIA

No. Date: Description:  
1 4/4/2023 REVISIONS PER MUNICIPAL REVIEWS.  
2 5/12/2023 REVISIONS PER MUNICIPAL REVIEWS AND ARCHITECTURAL PLANS

**FINAL LAND DEVELOPMENT PLAN**

GRAPHIC SCALE  
0 10 20 40 80  
(IN FEET)  
1 inch = 20'

Date: 01/13/2023  
Scale: 1" = 20'  
Drawn by: DWN  
Checked by: SJZ  
Project No. 11421

**CONSERVATION & EROSION & SEDIMENT CONTROL PLAN FOR**  
**MEGILL HOLDINGS, LLC.**  
732 & 734 S. MATLACK STREET  
WEST CHESTER, PA, 19382  
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA

**SHEET**  
**8**  
OF 11

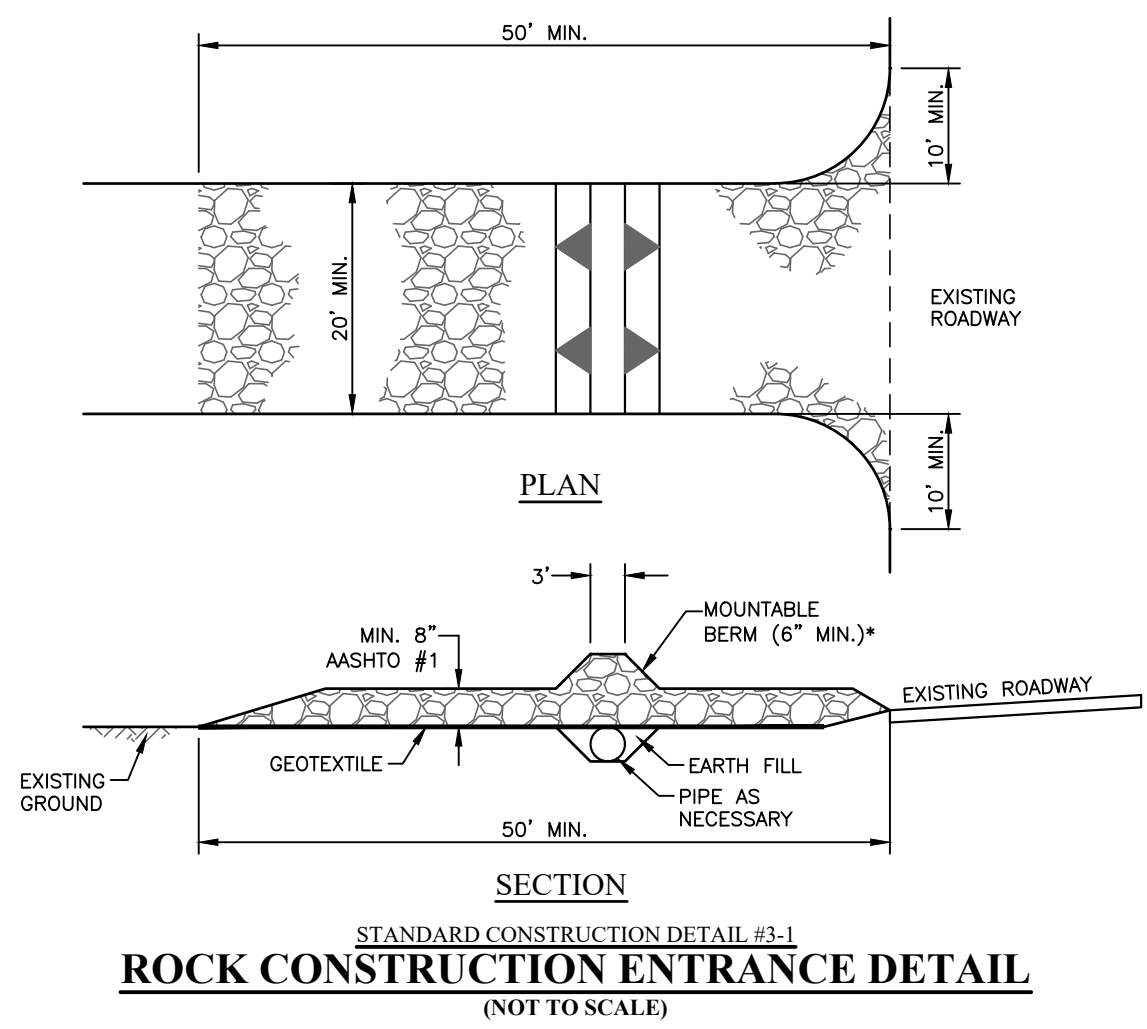
**OWNER OF RECORD:**  
HUGHES PROPERTY MANAGEMENT, LLC  
29 CHELSEA COURT  
GLEN MILLS, PA 19342

**EQUITABLE OWNER/APPLICANT:**  
MEGILL HOLDINGS, LLC.  
330 KENNETT PIKE, SUITE 207  
CHADDS FORD, PA 19317

**WATERSHED: GOOSE CREEK CHAPTER 93 CLASSIFICATION**  
TROUT STOCKING/MIGRATORY FISH (TSF/MF).

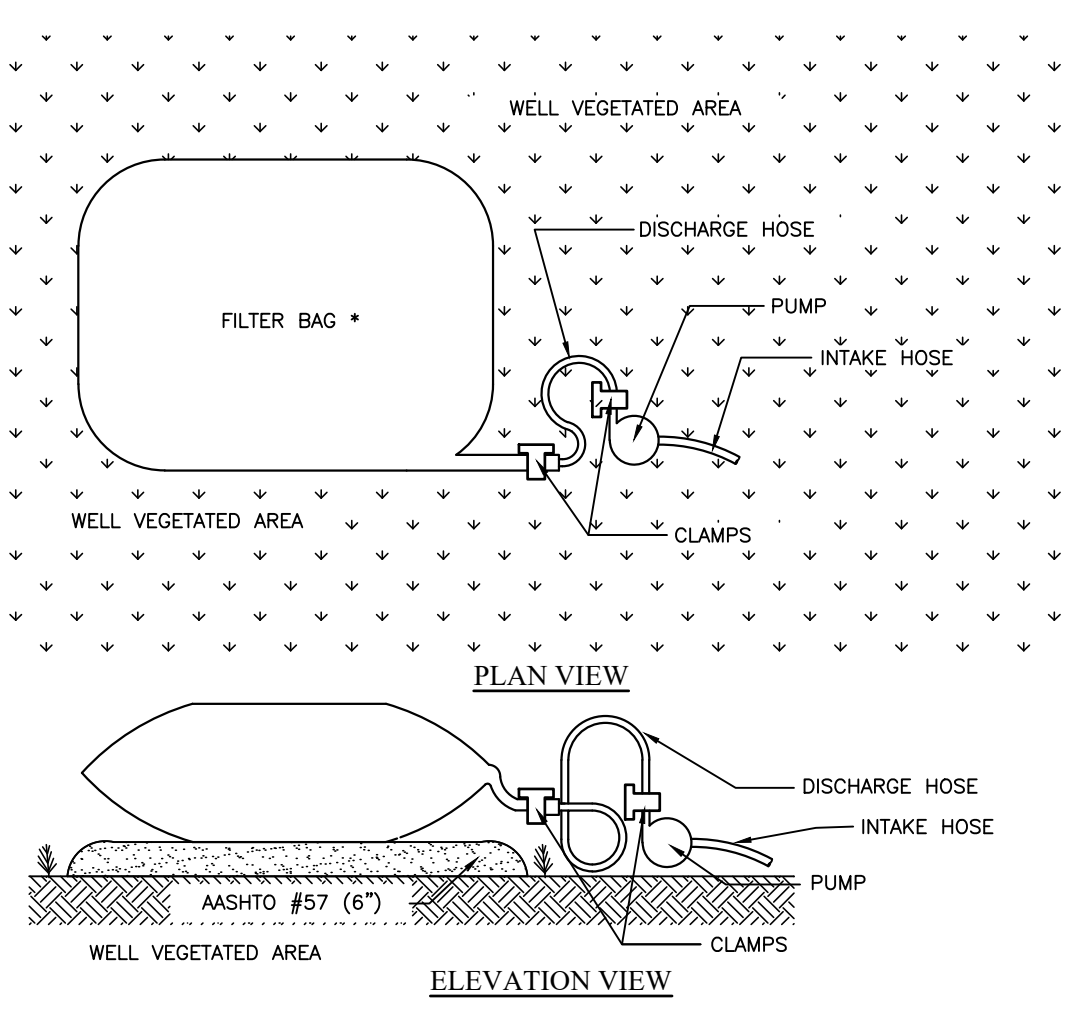
LIMIT OF DISTURBANCE 27,302 S.F. (0.63 AC)

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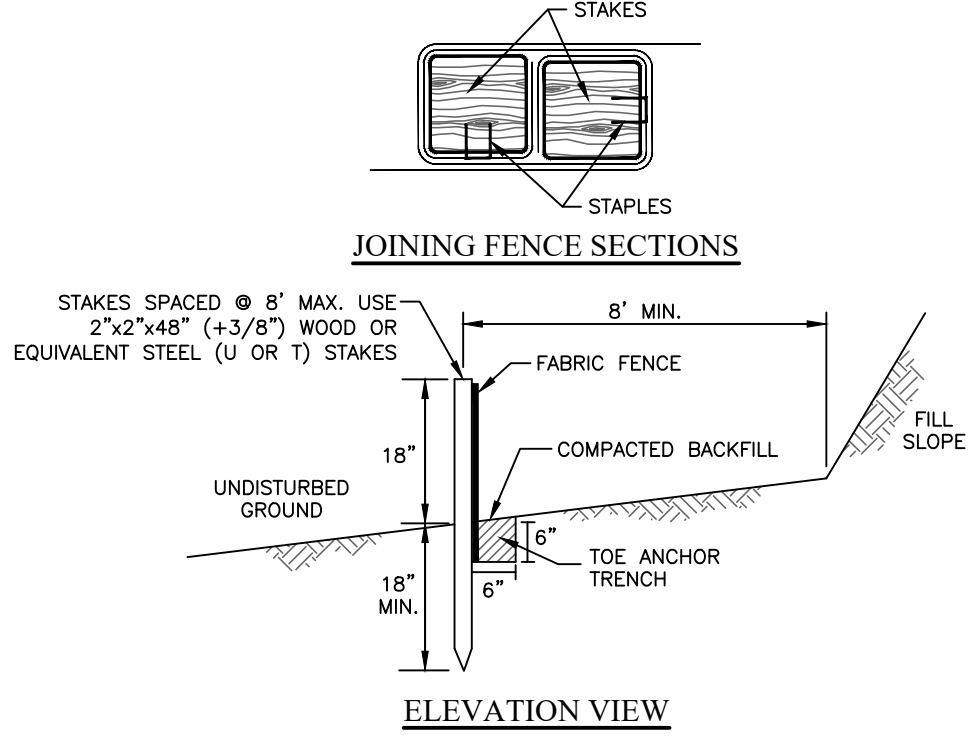
**ROCK CONSTRUCTION ENTRANCE DETAIL**  
STANDARD CONSTRUCTION DETAIL #3-1  
(NOT TO SCALE)

- REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
- RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
- MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
- MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.



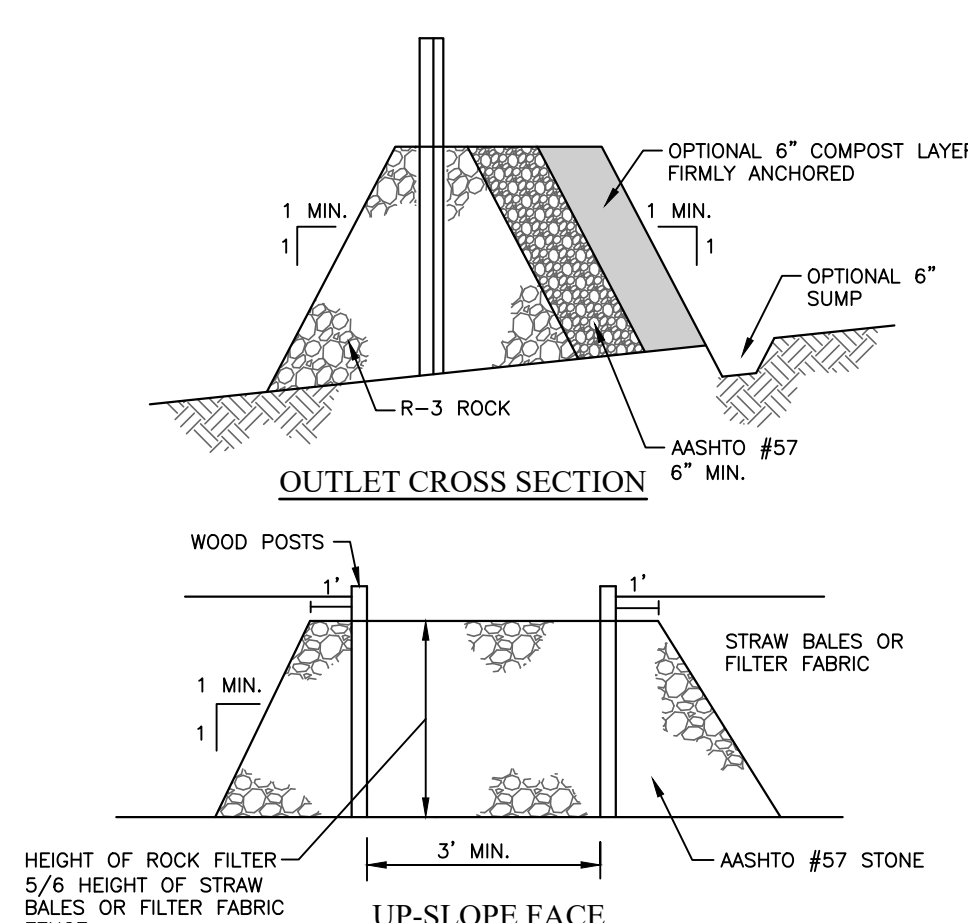
**PUMPED WATER FILTER BAG**  
STANDARD CONSTRUCTION DETAIL #3-16  
(NOT TO SCALE)

- FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS.
- A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES MUST BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED.
- BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE FLOW PATH SHALL BE PROVIDED. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%.
- THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED.
- THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHOULD BE FLOATING AND SCREENED.



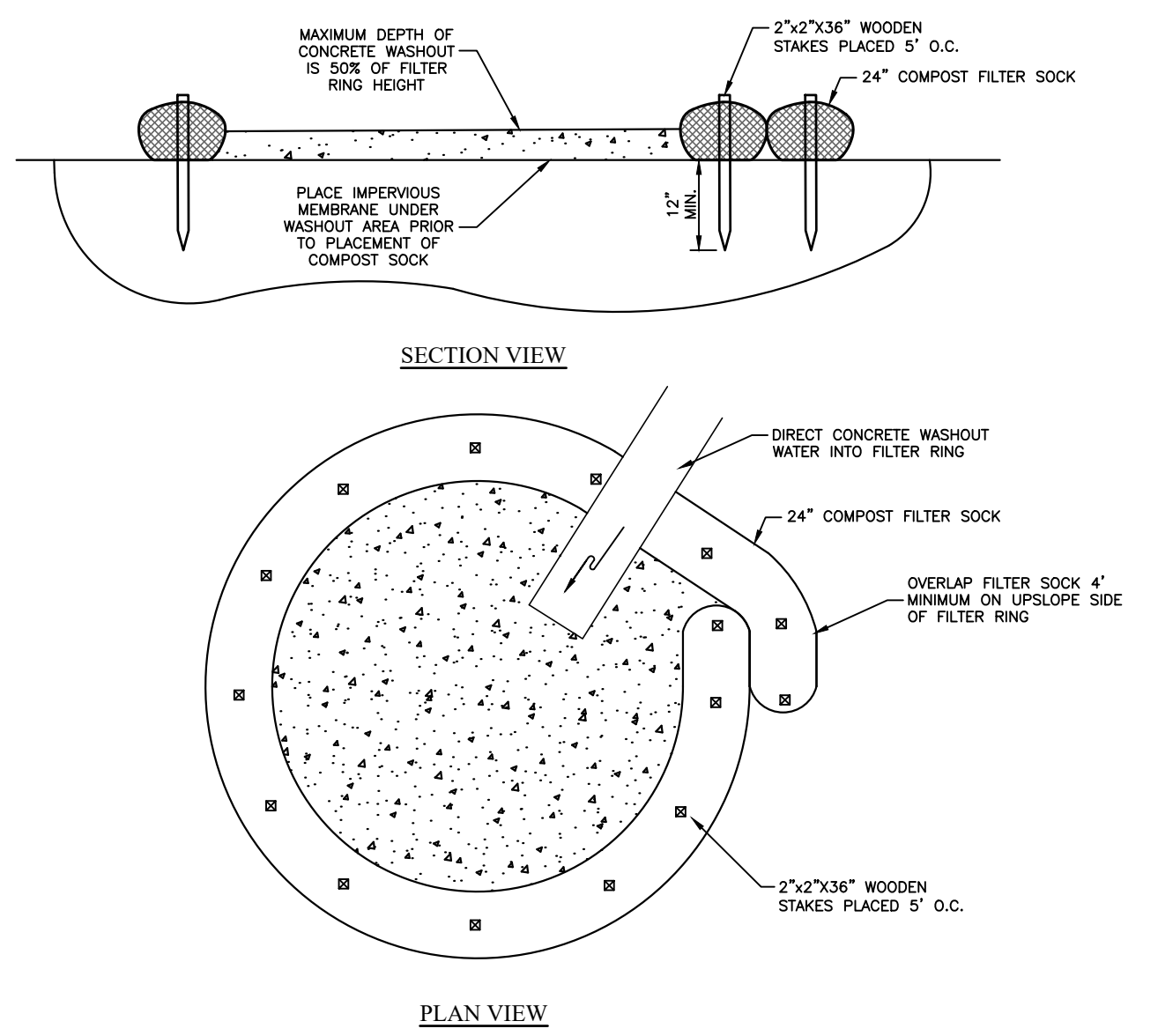
**STANDARD SILT FENCE (18" HIGH)**  
STANDARD CONSTRUCTION DETAIL #4-7  
(NOT TO SCALE)

- FABRIC WIDTH SHALL BE 30" MINIMUM. STAKES SHALL BE HARDWOOD OR EQUIVALENT STEEL (U OR T) STAKES.
- SILT FENCE SHALL BE PLACED AT LEVEL EXISTING GRADE. BOTH ENDS OF THE FENCE SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT (SEE FIGURE 4.1).
- SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH HALF THE ABOVEGROUND HEIGHT OF THE FENCE.
- ANY SECTION OF SILT FENCE WHICH HAS BEEN UNDERMINED OR TOPPED SHALL BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET (STANDARD CONSTRUCTION DETAIL #4-6).
- FENCE SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN TRIBUTARY AREA IS PERMANENTLY STABILIZED.



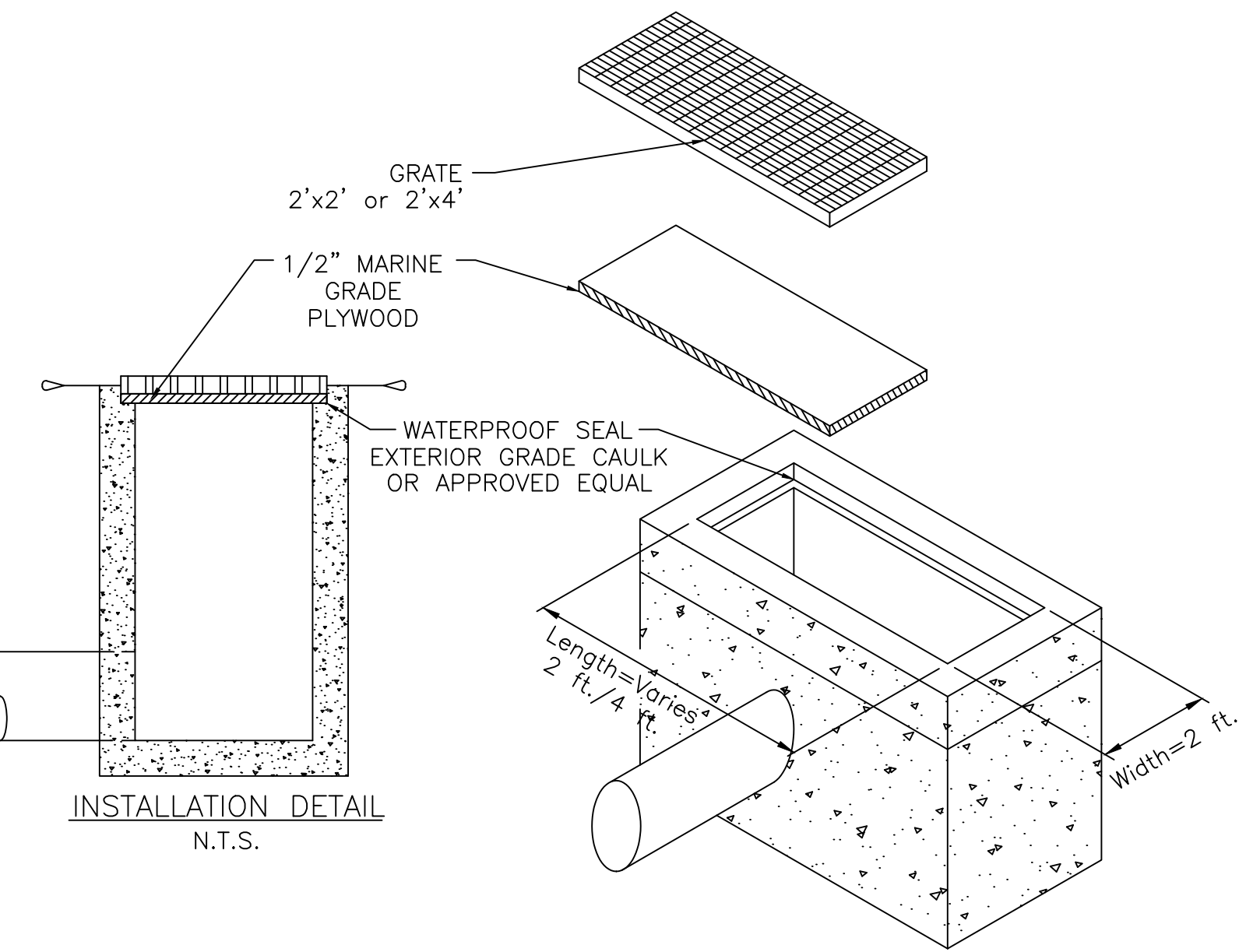
**ROCK FILTER OUTLET**  
STANDARD CONSTRUCTION DETAIL #4-6  
(NOT TO SCALE)

- A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A SILT FENCE OR STRAW BALE BARRIER HAS OCCURRED DUE TO CONCENTRATED FLOW. ANCHORED COMPOST LAYER SHALL BE USED ON UPSLOPE FACE IN HQ AND TV WATERSHEDS.
- SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.

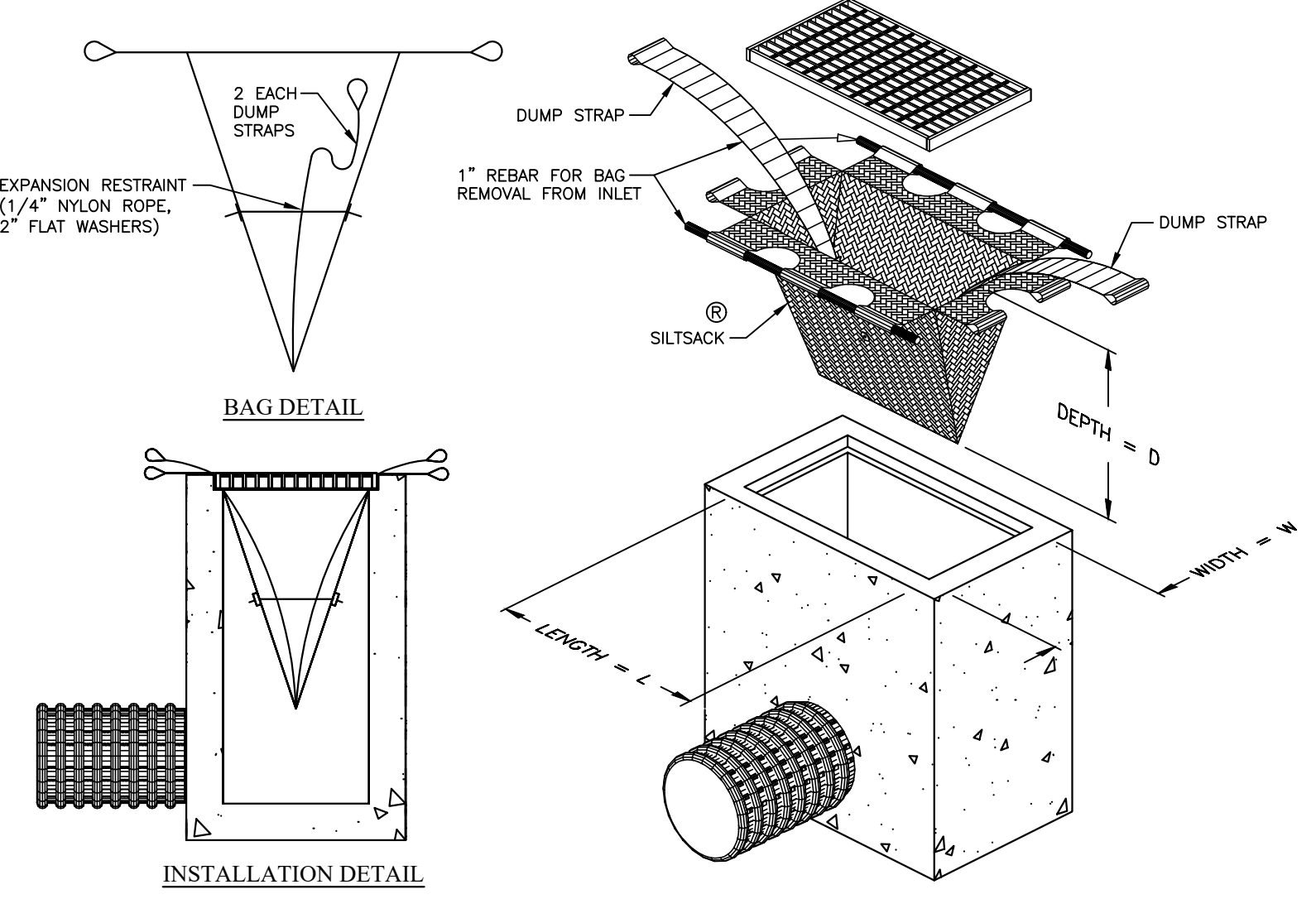


**COMPOST SOCK WASHOUT INSTALLATION**  
PADDF STANDARD FIGURE 3.18  
(NOT TO SCALE)

- INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
- 18" FILTER SOCK MAY BE STACKED ON TOP OF DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.

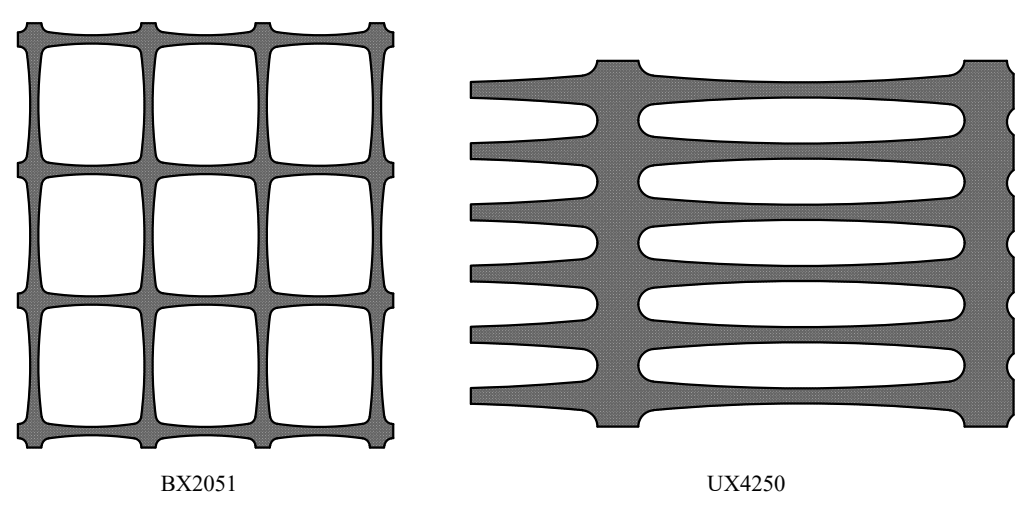


**INLET TEMPORARY SEAL DETAIL**  
(NOT TO SCALE)



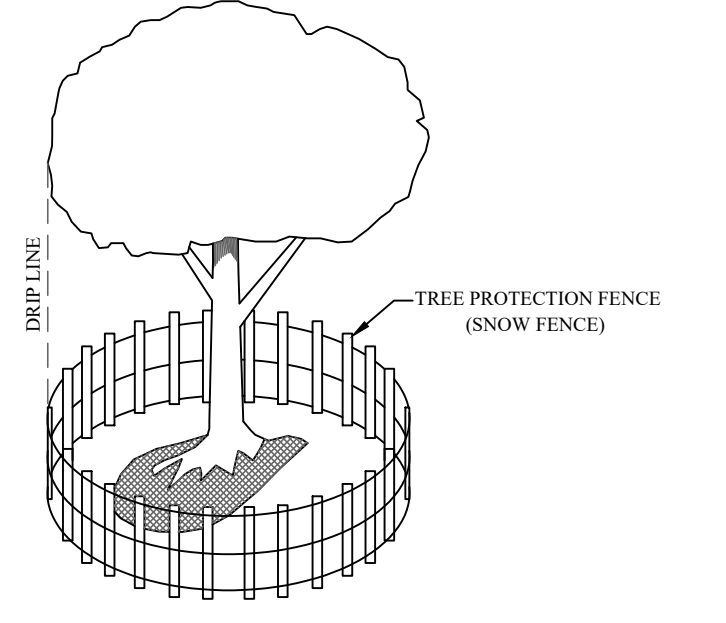
**SEDIMENT FILTER BAG INLET PROTECTION DETAIL**  
(NOT TO SCALE)

- AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
- INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED.



**ORANGE CONSTRUCTION FENCE DETAIL**  
(NOT TO SCALE)

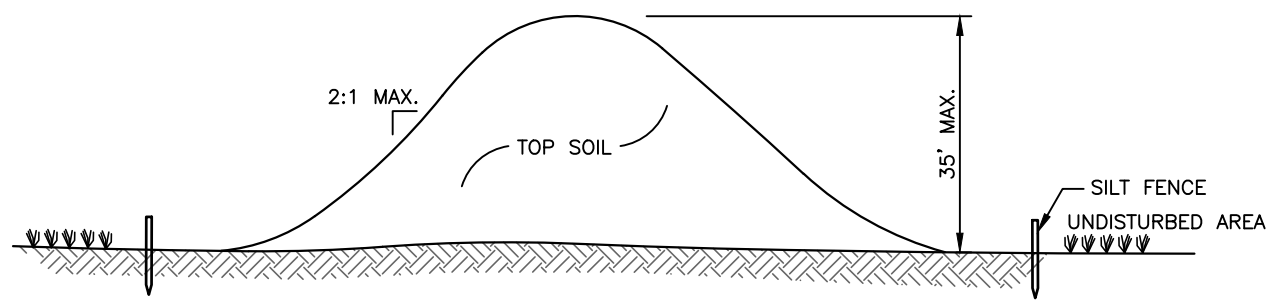
FOR GENERAL USE:  
TENSAR SAFETY FENCE BX 2051, 4' HT.  
ORANGE FOR EXTRA PROTECTION:  
TENSAR SAFETY FENCE UX 4250, 4' HT.  
ORANGE INSTALLATION:  
ATTACH FENCE TO 2" x 2" PINE STAKES DRIVEN AT LEAST 18" INTO THE GROUND, SPACED 8" ON CENTER, WITH WIRE FASTENERS IN 3 PLACES PER STAKE.



**TREE PROTECTION**  
(NOT TO SCALE)

PRIOR TO THE START OF ANY CLEARING, GRADING, OR OTHER EARTH DISTURBANCE ALL TREES AND OTHER VEGETATION TO BE PRESERVED SHALL BE PROTECTED BY A CONSPICUOUS 6-FOOT HIGH TREE PROTECTION BARRIER TO PREVENT ENCROACHMENT IN THE TPZ BY PEOPLE, MATERIAL, AND VEHICLES. THE TREE PROTECTION BARRIER INSTALLATION MUST BE APPROVED BY THE BOROUGH ARBORIST AND MONITORED PERIODICALLY.

A SIGN SHALL BE PLACED ON THE TREE PROTECTION BARRIER TO EXPLAIN THE PURPOSE OF THE TPZ. TEXT FOR THE SIGN SHALL BE FURNISHED BY THE BOROUGH ARBORIST.



**TYPICAL TOPSOIL STOCKPILE DETAIL**  
(NOT TO SCALE)

- NOTES:
- PLACE STOCKPILES AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
  - ALL SIDE SLOPES SHALL BE 2 TO 1 OR FLATTER.
  - STOCKPILE SHALL RECEIVE A VEGETATIVE COVER IN ACCORDANCE WITH MINIMUM STABILIZATION REQUIREMENTS.
  - SILT FENCE OR HAY BALE FILTER SHALL BE INSTALLED AS DETAILED HEREON.
  - LOCATION OF PROPOSED STOCKPILE WHICH AFFECT EROSION CONTROLS ARE SHOWN SCHEMATICALLY ONLY. ACTUALLY STOCKPILE LOCATION MAY CHANGE DURING CONSTRUCTION.
  - STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET.

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**PENNSYLVANIA ONE CALL SYSTEM**  
PA. act 172 of 1986 requires three working days notice  
Serial Numbers:  
**20222571282**

**PENNSYLVANIA ACT 187 REQUIREMENTS:**  
Inland Design, LLC does not guarantee the accuracy of the location for existing subsurface utility structures shown on the plans, nor does Inland Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

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**SCOTT G. ZWIZANSKI**  
REGISTERED PROFESSIONAL ENGINEER  
PE091752  
PENNSYLVANIA

**UPL: 1-13-28 | D.B. 6365 | PG. 1507 & UPL: 1-13-29 | D.B. 10921 | PG. 861**

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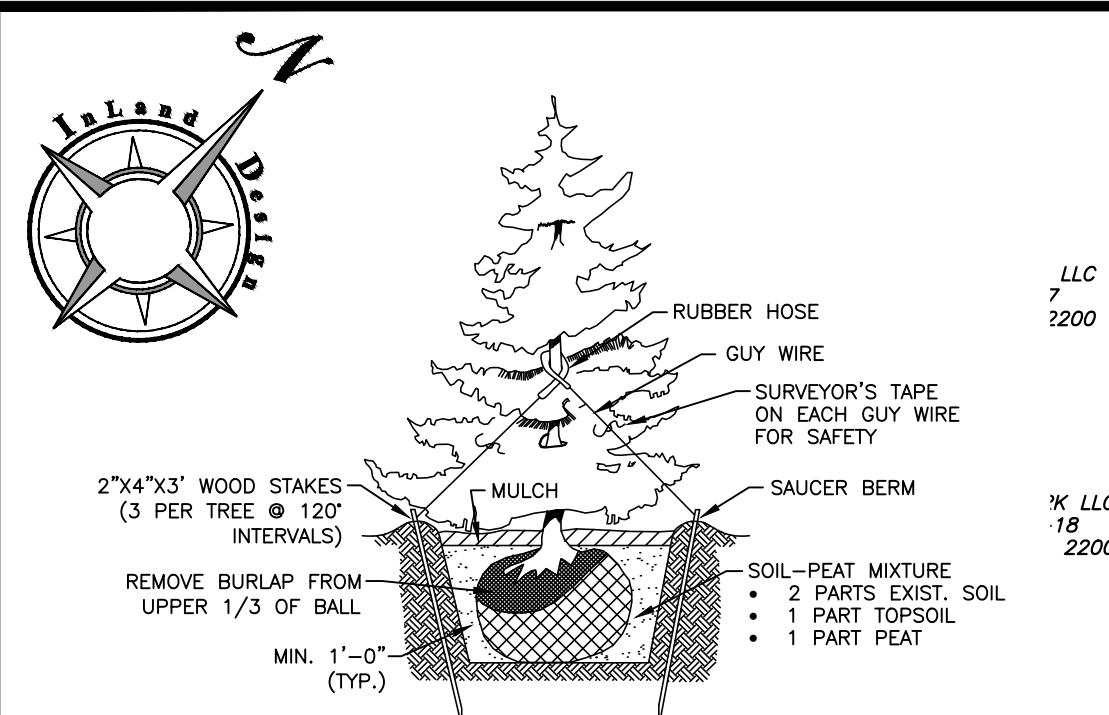
No.	Date:	Description:
1	4/4/2023	REVISIONS PER MUNICIPAL REVIEWS.
2	5/12/2023	REVISIONS PER MUNICIPAL REVIEWS AND ARCHITECTURAL PLANS

**FINAL LAND DEVELOPMENT PLAN**

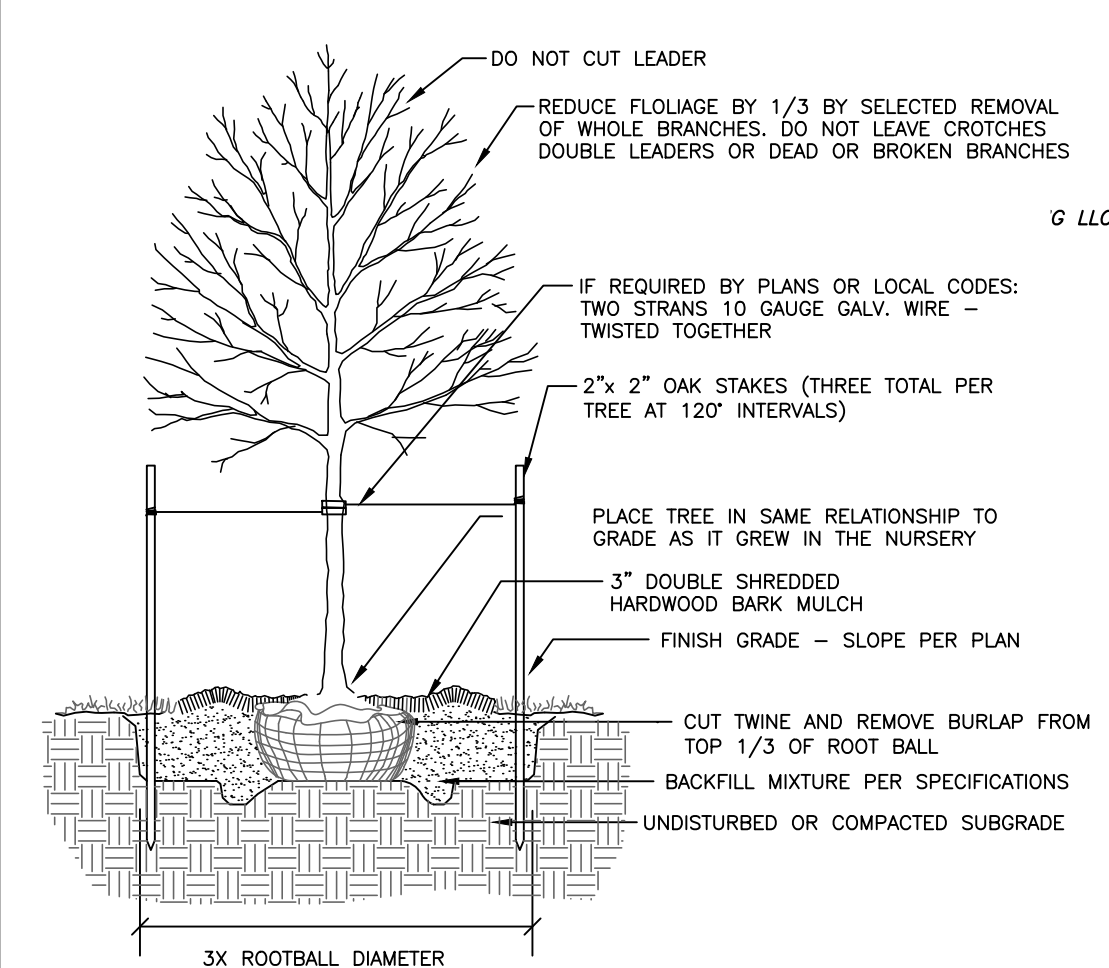
Date: 01/13/2023  
Scale: AS NOTED  
Drawn by: DWN  
Checked by: SJZ  
Project No. 11421

**EROSION & SEDIMENT CONTROL DETAILS FOR**  
**MEGILL HOLDINGS, LLC.**  
**732 & 734 S. MATLACK STREET**  
**WEST CHESTER, PA, 19382**  
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA

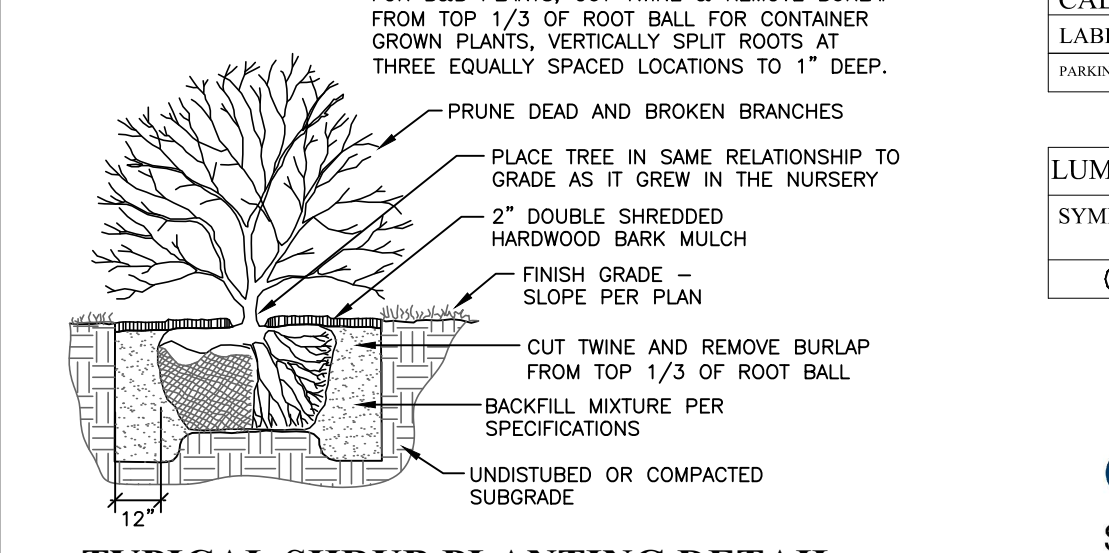
**SHEET**  
**9**  
**OF 11**



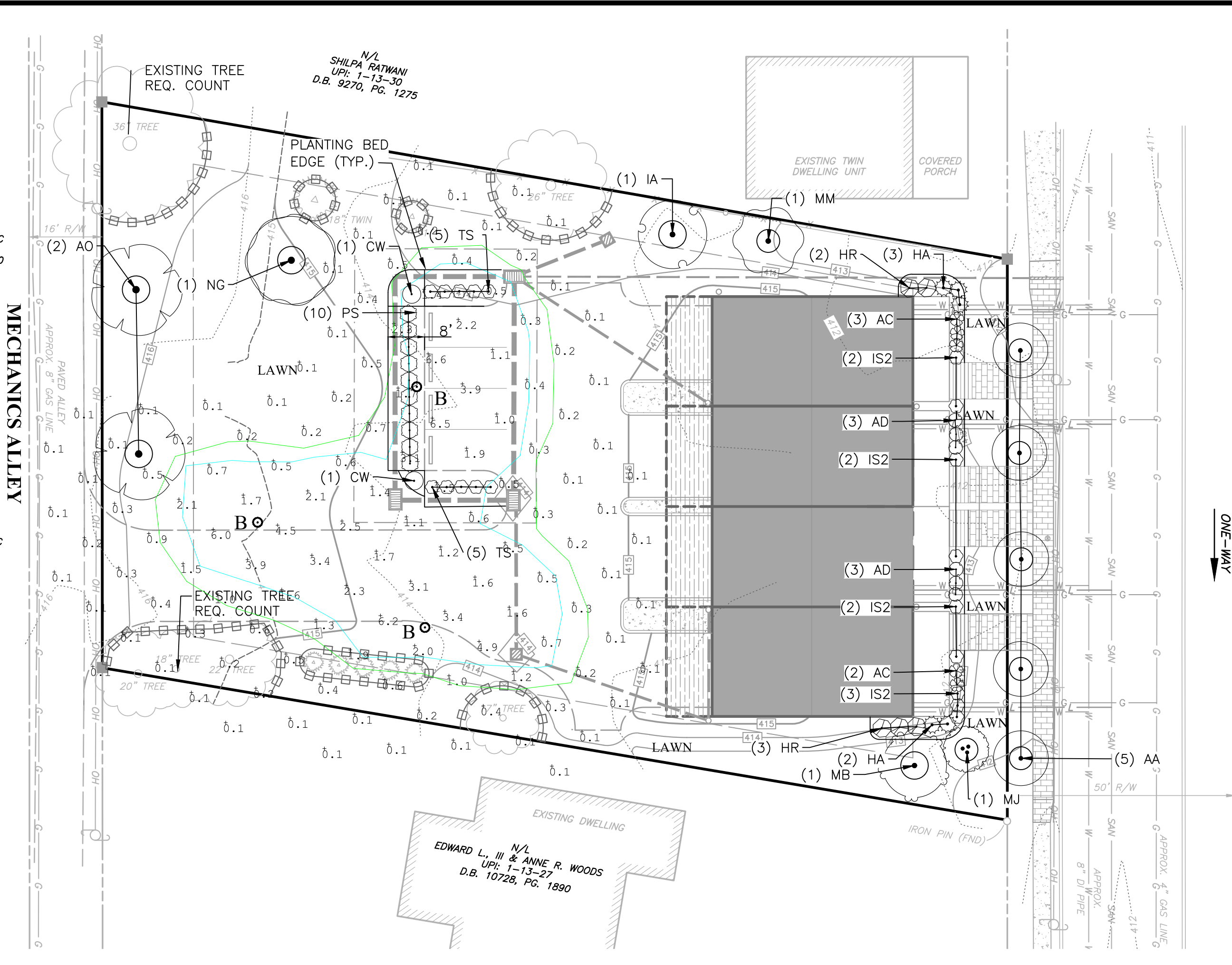
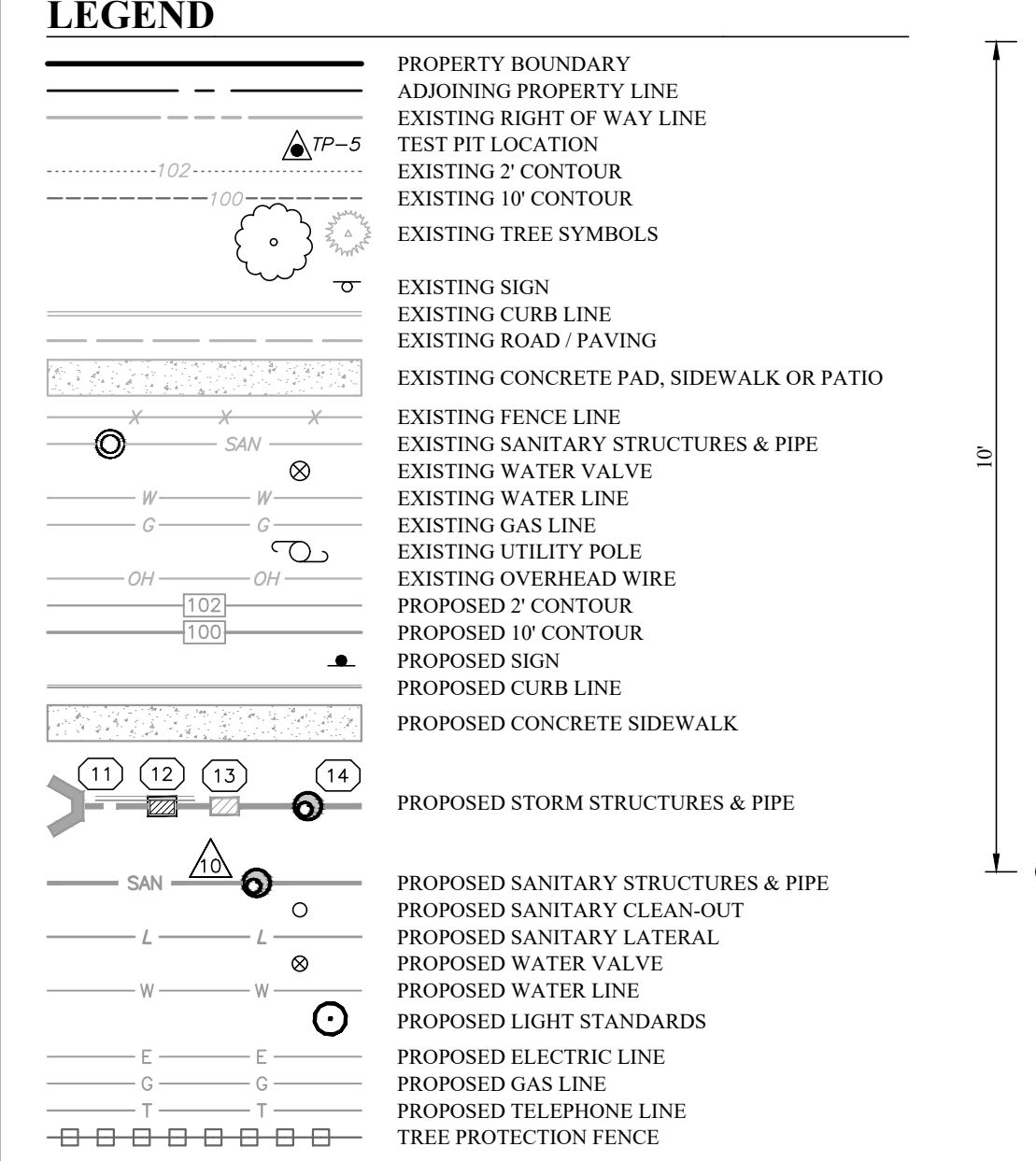
**TYPICAL EVERGREEN TREE PLANTING DETAIL**  
(NOT TO SCALE)



**TYPICAL DECIDUOUS TREE PLANTING DETAIL**  
(NOT TO SCALE)



**TYPICAL SHRUB PLANTING DETAIL**  
(NOT TO SCALE)



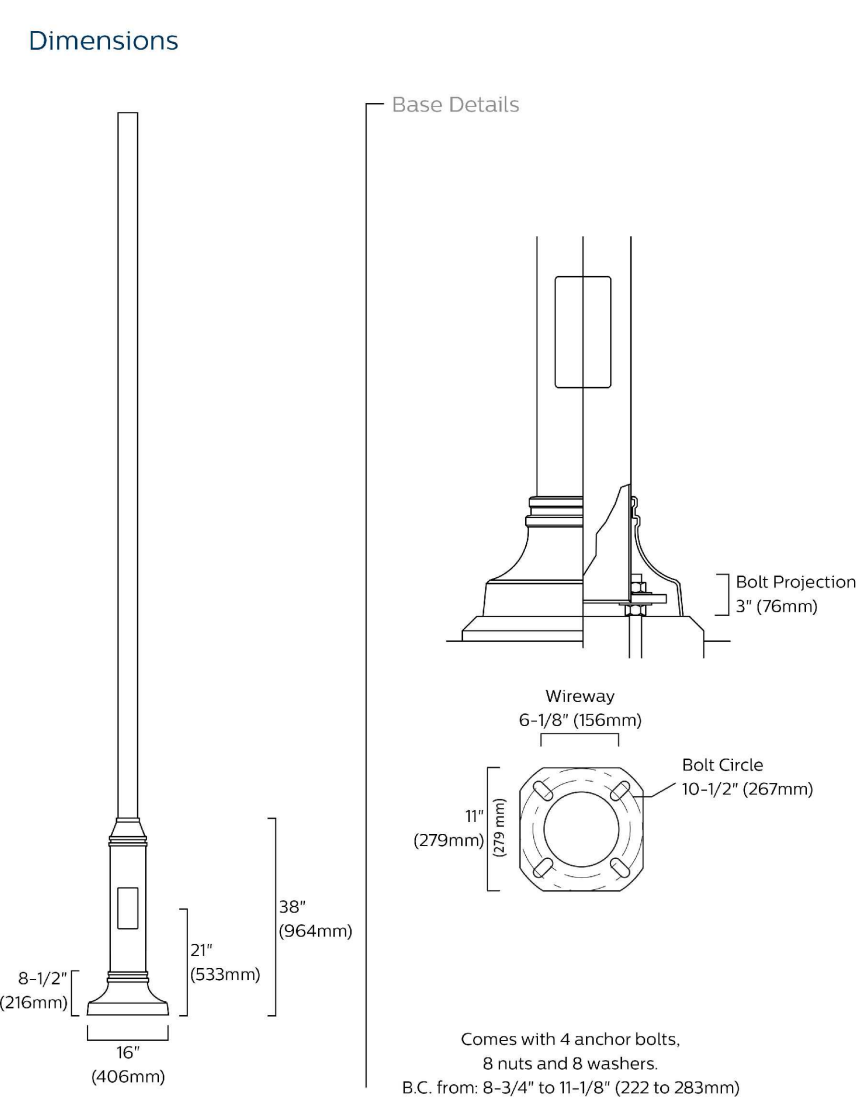
**CALCULATION SUMMARY**

LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN
PARKING	RECOMMENDATION	RC	2.37	6.5	1.0	2.37

**LUMINAIRE SCHEDULE**

SYMBOL	QTY	DESCRIPTION	LABEL	MOUNTING HEIGHT
○	3	MPTR-C-140L-1150-WW-G1-2-UNV	B	10'

**Outdoor Poles and Brackets**  
SM6 - Round Steel Bottleneck Pole



**LIGHT POLE DETAIL**  
NOT TO SCALE



**B : METROSCAPE**

- NOTES:
- MANUFACTURER: LUMEC BY SIGNIFY
  - MODEL NUMBER: MPTRC-C-140L-450-WW-G1-UNV (3000K)
  - LUMINAIRE OPTION: F-2
  - COLOR: BLACK (BKTX)
  - POLE: PHILLIPS LUMEC-POLE-SM6 ROUND STEEL BOTTLENECK POLE
  - COLOR: BLACK TEXTURED (BKTX)
  - NOMINAL HEIGHT: 10'
  - CONTACT INFORMATION: <https://www.signify.com/en-us> 800-555-0050

**LIGHTING NOTES:**

- LIGHTING SHALL HAVE INTENSITIES AND UNIFORMITIES IN ACCORDANCE WITH THE CURRENT RECOMMENDED PRACTICES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA).
- LIGHTING FIXTURES SHALL BE AIMED STRAIGHT DOWN AND SHALL MEET IESNA FULL-CUTOFF CRITERIA.
- ALL NON-ESSENTIAL LIGHTING, INCLUDING DISPLAY, AESTHETIC, PARKING, AND SIGN LIGHTING, SHALL BE REQUIRED TO BE TURNED OFF OR REDUCED BY 75% AFTER BUSINESS HOURS OR 11:00 P.M., WHICHEVER IS EARLIER, LEAVING ONLY THE NECESSARY LIGHTING FOR SITE SECURITY. LIGHTING PROPOSED TO REMAIN ON AFTER 11:00 P.M. FOR A SPECIFIC SAFETY PURPOSE SHALL BE APPROVED BY THE TOWNSHIP.
- UNLESS OTHERWISE PERMITTED BY THE BOROUGH (E.G., FOR SAFETY, SECURITY, OR ALL-NIGHT OPERATIONS), LIGHTING SHALL BE CONTROLLED BY THE AUTOMATIC SWITCHING DEVICES, SUCH AS TIME CLOCKS OR COMBINATION MOTION DETECTORS AND PHOTOCELLS, TO PERMIT EXTINGUISHING OFFENDING SOURCES BETWEEN 11:00 P.M. AND DAWN TO MITIGATE NUISANCE GLARE AND SKYLIGHTING CONSEQUENCES.
- THIS PLAN IS FOR LIGHTING PURPOSES ONLY. ALL SITE IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, BUILDING LOCATIONS, CURBING, SIDEWALK, UTILITIES, AND THEIR ANCILLARY APPURTENANCES, ARE SHOWN FOR INFORMATION PURPOSES ONLY AND ARE SUBJECT TO MODIFICATION AND REVISION.
- VEGETATION SHALL BE MAINTAINED TO ENSURE GROWTH DOES NOT IMPACT THE PROPOSED LIGHTING LEVELS IN THE PARKING LOTS AND DRIVE AISLES.

**LANDSCAPING GENERAL NOTES**

- ALL BEDS SHALL HAVE THREE INCHES OF SHREDDED HARDWOOD MULCH OR EQUAL.
- TREE WRAP SHALL BE REMOVED AT THE END OF THE GUARANTEE PERIOD.
- DO NOT CUT THE LEADER OF DECIDUOUS TREES.
- NO DECIDUOUS SHADE TREES WILL BE LOCATED CLOSER THAN 10 FEET TO SANITARY AND WATER UTILITIES.
- NO PLANTS, EXCEPT GROUND COVER, SHALL BE PLANTED LESS THAN FIVE FEET FROM A STRUCTURE, WALKS OR CURB LINES.
- ALL PLANT MATERIALS SHALL BE OF NURSERY STOCK, BALLED AND BURLAPPED. IT SHALL BE OF SYMMETRICAL GROWTH, TYPICAL OF ITS SPECIES OR VARIETY, CERTIFIED FREE OF INSECTS, PESTS AND DISEASE, HAVE A NORMAL GROWTH HABIT, AND A VIGOROUS HEALTHY ROOT SYSTEM.
- ALL TREES SHALL BE GUARANTEED FOR A PERIOD OF 24 MONTHS BY THE LANDSCAPING CONTRACTOR.
- ALL SHRUBS SHALL BE GUARANTEED FOR A PERIOD OF 18 MONTHS BY THE LANDSCAPING CONTRACTOR.
- LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED AND MARKED IN THE FIELD, PRIOR TO ANY DIGGING OPERATIONS.
- ALL PLANTING MATERIALS SHALL MEET THE MINIMUM STANDARDS OF THE MOST RECENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION FOR HEALTH, FORM, AND ROOT CONDITION.
- ALL TREES AND SHRUBS SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE TOWNSHIP.
- PLANT MATERIAL SHALL NOT BE PLANTED UNTIL THE FINISHED GRADING HAS BEEN COMPLETED.
- TREES AND SHRUBS SHALL BEAR THE SAME RELATIONSHIP TO THE FINISHED GRADE IN THE NEW DEVELOPMENT AS THEY DID IN THE NURSERY.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALL PLANT MATERIALS AS SPECIFIED IN THE PLANT SCHEDULE AND SHALL INSTALL ALL MATERIAL IN ACCORDANCE WITH THE PLANTING DETAILS, NOTES AND SPECIFICATIONS IN THE APPROVED LANDSCAPE PLANS.
- ANY SUBSTITUTIONS OF PLANT MATERIALS MUST BE REVIEWED AND APPROVED BY THE BOROUGH BEFORE INSTALLATION.
- ALL LANDSCAPE IMPROVEMENTS TO BE PROVIDED IN ACCORDANCE WITH THE ORDINANCE SHALL BE INSTALLED AND MAINTAINED BY ACCEPTED PRACTICES AS RECOGNIZED BY THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS. PLANTING AND MAINTENANCE OF VEGETATION SHALL INCLUDE, AS APPROPRIATE, BUT NEED NOT BE LIMITED TO, PROVISIONS FOR SURFACE MULCH, GUY-WIRES AND STAKES, IRRIGATION, FERTILIZATION, INSECT AND DISEASE CONTROL, AND PRUNING.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO ADEQUATELY AND PROPERLY MAINTAIN THE LANDSCAPE AREAS, INCLUDING WATERING, FERTILIZING TO MAINTAIN HEALTHY GROWTH, PRUNING, WEEDING, AND CLEANING DEBRIS PRIOR TO THE END OF THE GUARANTEE PERIOD.
- ALL PLANTINGS WHICH DO NOT SURVIVE AFTER THE EXPIRATION OF THE MAINTENANCE GUARANTEE WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL REMOVE ANY DEAD, DISEASED OR DECAYING TREES FROM THE PROPERTY.

**WEST CHESTER BOROUGH LANDSCAPING SPECIFICATIONS**

ALL TREE PLANTING PROCEDURES SHALL FOLLOW ANSI A300 (PART 6)-2012 PLANTING AND TRANSPLANTING, AS WELL AS ISA'S BEST MANAGEMENT PRACTICES: TREE PLANTING, SECOND EDITION.

- ALL TREES SHALL BE GUARANTEED FOR A PERIOD OF 24 MONTHS. ANY TREE THAT DIES WITHIN THE GUARANTEE SHALL BE REPLACED.
- ALL TREES WITHIN THE RIGHTS-OF-WAY SHALL BE AN APPROVED SPECIES, AND SHALL CONFORM TO REQUIREMENTS OF THE BOROUGH RELATIVE TO SPACING.
- ALL TREES SHALL BE TRUE TO NAME, NURSERY GROWN, AND FREE OF ALL PEST INFESTATION, PLANT DISEASE, OR UNHEALED TRUNK OR BASAL SCARS.
- TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL-DEVELOPED, DENSELY FOLIATED BRANCHES, AND VIGOROUS AND FIBROUS ROOT SYSTEMS.
- ALL TREES, OR AT A MINIMUM REPRESENTATIVE SAMPLES OF ALL TREES, SHALL BE SUBJECT TO INSPECTION AT THE PLANTING SITE PRIOR TO PLANTING (IT IS RECOMMENDED THAT THE REPRESENTATIVE SAMPLES OF ALL TREES BE INSPECTED, RATHER THAN ALL TREES, IN THE PLANTING AREA). ALL TREES ARE REJECTED IF PLANTINGS WILL BE APPROVED OR REJECTED FOR CAUSE. ALL PLANTINGS SHALL CONFORM TO THE STANDARDS OF THE PUBLICATION "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1) OF THE AMERICAN ASSOCIATION OF NURSERMEN, LATEST EDITION.
- ALL TREES SHALL BE DUG WITH BALL AND BURLAP AND SHALL CONFORM WITH THE BALL DIAMETER TO DEPTH RATIO STANDARDS OF THE PUBLICATION "AMERICAN NURSERY STOCK" (ANSI Z60.1) OF THE AMERICAN ASSOCIATION OF NURSERMEN, LATEST EDITION, I.E. ONE FOOT OF BALL FOR EACH TRUNK CALIPER MEASURED ONE FOOT ABOVE GROUND AND SHALL NOT BE LESS IN DEPTH THAN 1/2 OF THE BALL DIAMETER. WIRE BASKETS WHICH MAY BE USED TO TRANSPORT TREES SHALL BE REMOVED PRIOR TO PLANTING.

TREES SHOULD BE PLANTED IN ELLIPTICAL PLANTING HOLES RATHER THAN THE STRAIGHT SIDED HOLES. HOLES SHOULD BE DUG AT LEAST TWO (2) FEET WIDER THAN THE GREATEST WIDTH OF THE TREE BALL FOR TREES OF LESS THAN FIVE INCH (5) CALIPER AND FOUR (4) FEET WIDER FOR TREES OF GREATER THAN FIVE INCH (5) CALIPER. ALL TREES SHALL BE SET ON FIRM SOIL THAT HAS NOT BEEN LOOSENEED OR TO WHICH SOIL AMENDMENTS HAVE BEEN ADDED (THIS IS TO PREVENT FUTURE SETTLING OF THE TREE TO BELOW THE POINT THAT THE TREE IS BEING GROWN NATURALLY OR IN THE NURSERY.)

CHECK EACH TREE FOR THE START OF THE FLAIR OR ROOT SYSTEM AND PLANT AT THAT DEPTH UNTIL THE BURLAP ON THE BALL AND REMOVE IT FROM THE TOP 1/3 OF THE BALL. PLASTIC BURLAP, IF USED, SHALL BE REMOVED. USED GOOD QUALITY TOPSOIL FOR PLANTING. FIRM UP SOIL TO ENSURE SOIL CONTACT TO ROOT MASS. WATER THE TREE UNTIL THE ENTIRE ROOT BALL IS WET. THEREAFTER, KEEP ROOT SYSTEM MOIST BUT NOT WET.

INJURED, DISEASED TREES AND TREES WITH BROKEN BRANCHES OR DOUBLE LEADERS SHOULD BE PRUNED. FOR TREES WITH DOUBLE LEADERS, REMOVE ONE OF THE DOUBLE LEADERS TOTALLY. DO NOT TOP THE CENTRAL LEADER.

MULCH SAUCER OF TREE AT A MINIMUM THICKNESS OF THREE INCHES (3"), BUT DO NOT PILE MULCH ON TREE TRUNK, MAINTAINING A PERMANENTLY MULCHED AREA AROUND THE TREE PROMOTES GROWTH AND HELPS PREVENT MOWING INJURIES.

7. TAKE CUSTOMARY PRECAUTIONS ACCORDING TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERMEN IN PREPARING PLANTS FOR DIGGING, MOVING, TRANSPLANTING, AND PLANTING.

**SPECIFICATIONS FOR SHRUBS**

- ALL SHRUBS SHALL BE GUARANTEED FOR A PERIOD OF 18 MONTHS. ANY SHRUB THAT DIES WITHIN THE GUARANTEE PERIOD SHALL BE REPLACED.
- SHRUBS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL-DEVELOPED, DENSELY FOLIATED BRANCHES, AND VIGOROUS AND FIBROUS ROOT SYSTEMS.
- SHRUBS SHOULD BE BALLED AND BURLAPPED OR CONTAINER GROWN.

A. SPACING: UNLESS A HEDGE IS PROPOSED, GIVE SHRUBS ROOM TO GROW BY PROVIDING PROPER SPACING; PLACE PLANTING HOLES IN CENTERS THAT APPROXIMATE THE HEIGHT OF THE SHRUB AT MATURITY. IF SET AGAINST A BUILDING, SHRUBS SHOULD NOT TOUCH WALLS OR BE PLANTED IN THE BUILDING'S DRIP LINE WHERE PLANTS CAN BE DAMAGED BY EXCESSIVE WATER RUN-OFF, AND/OR FALLING ICE AND SNOW. DO NOT PLANT IN AREAS THAT WILL HAVE LARGE PILES OF SNOW FROM PLOWING OF PARKING LOTS OR ROADWAYS.

B. PLANTING: DIG A SEPARATE HOLE FOR EACH SHRUB. ADD ORGANIC MATERIALS SUCH AS PEAT MOSS OR COMPOST TO SOIL. HOLES SHOULD BE DUG AT LEAST EIGHT INCHES (8") WIDER THAN THE SHRUB, AND THE SAME DEPTH AS THE BALL. PLANTS SHALL BE REMOVED FROM CONTAINERS, AND ALL PLASTIC BURLAP SHALL BE REMOVED. NATURAL FIBER BURLAP MAY BE LEFT, BUT LOOSEN THE TOP AND REMOVE FROM THE STEM OF THE SHRUB.

SET SHRUB AT SAME LEVEL AS GROWN AT THE NURSERY OR ONE INCH (1") HIGHER. FILL WITH MIXTURE OF SOIL AND ORGANIC MATERIAL UNTIL THE HOLE IS FULL, THEN ADD WATER. BUILD SAUCER AROUND SHRUB AND FINISH FILLING, TAMPING TO ENSURE GOOD SOIL TO ROOT CONTACT. WATER AND COVER WITH MULCH. DO NOT PILE MULCH DEEPER THAN THREE INCHES (3"). PRUNE OUT ANY BROKEN BRANCHES. MAINTAIN A WATERING SCHEDULE WHENEVER RAINFALL IS INSUFFICIENT TO KEEP THE SOIL MOIST. A SLOW RELEASE FERTILIZER SHOULD BE ADDED EARLY IN THE SPRING OF THE SECOND YEAR.

AZALEAS AND RHODODENDRONS AND OTHER ERICACEOUS PLANTS SHALL BE PLANTED IN SOIL WITH A pH VALUE BETWEEN 4.5 pH AND 6.5 pH. THESE PLANTS ARE FIBROUS ROOTED AND GROW WITHIN THE UPPER 12 INCHES OF SOIL. A MULCH WILL KEEP THE TOPSOIL COOL AND AID IN GROWTH.

MULCH ON ALL SHRUBS SHOULD BE RENEWED YEARLY TO KEEP DOWN WEEDS, CONSERVE WATER, AND INCREASE SOIL HUMUS.

**LANDSCAPE SCHEDULE**

BUILDING DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	MJ	1	MAGNOLIA VIRGINIANA 'JIM WILSON' / MOONGLOW® SWEETBAY MAGNOLIA	21/2"-3" CAL.	B&B
	MM	1	MAGNOLIA X SOULANGEANA / SAUCER MAGNOLIA MULTI-TRUNK	21/2"-3" CAL.	B&B
BUILDING EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	IA	1	ILEX OPACA / AMERICAN HOLLY	6'-7" MIN. HT.	B&B
	MB	1	MAGNOLIA GRANDIFLORA 'BRACKENS BROWN BEAUTY' / BRACKEN'S BEAUTY SOUTHERN MAGNOLIA	6'-7" MIN. HT.	B&B
PARKING LOT TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	NG	1	NYSSA SYLVATICA 'NSUHI' / GREEN GABLE™ TUPELO	21/2"-3" CAL.	B&B
SHRUB TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	AO	2	ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE	3" - 3 1/2" CAL.	B&B
	AA	5	ACER RUBRUM 'ARMSTRONG' / ARMSTRONG RED MAPLE	3" - 3 1/2" CAL.	B&B
BUILDING SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	AC	5	AZALEA X 'CONLEN' / AUTUMN BRAVO® ENCORE® AZALEA	30" HT MIN.	B&B
	AD	6	AZALEA X 'DELAWARE VALLEY WHITE' / VALLEY WHITE AZALEA	30" HT MIN.	B&B
	HA	5	HYDRANGEA ARBORSCENSIS 'ANNABELLE' / ANNABELLE HYDRANGEA	30" HT MIN.	CONT.
	HR	5	HYDRANGEA QUERCIFOLIA 'RUBY SLIPPERS' / RUBY SLIPPERS OAKLEAF HYDRANGEA	30" HT MIN.	CONT.
	IS2	9	ILEX CRENATA 'SOFT TOUCH' / SOFT TOUCH JAPANESE HOLLY	30" HT MIN.	CONT.
PARKING AREA SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	CW	2	CUPRESSUS X LEYLANDII 'CASTLEWELLAN' / CASTLEWELLAN LEYLAND CYPRESS	5' HT.	CONT.
	PS	10	PRUNUS LAUROCERASUS 'SCHIPKAENSIS' / SCHIPKA ENGLISH LAUREL	5' HT.	B&B
	TS	10	THUJA OCCIDENTALIS 'SMARAGD' / EMERALD GREEN ARBORVITAE	5' HT.	CONT.

**OWNER OF RECORD:**  
HUGHES PROPERTY MANAGEMENT, LLC  
29 CHELSEA COURT  
GLEN MILLS, PA 19342

**EQUITABLE OWNER / APPLICANT:**  
MEGILL HOLDINGS, LLC  
330 KENNETH PIKE, SUITE 207  
CHADDS FORD, PA 19317

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**20222571282**

PENNSYLVANIA ACT 187 REQUIREMENTS:  
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**INLAND DESIGN**  
Civil Engineers, Surveyors & Land Development Consultants  
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www.InlandDesign.net  
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**REVISIONS PER MUNICIPAL REVIEW**

No.	Date	Description:
1	4/4/2023	REVISIONS PER MUNICIPAL REVIEWS.
2	05/12/2023	REVISIONS PER MUNICIPAL REVIEW

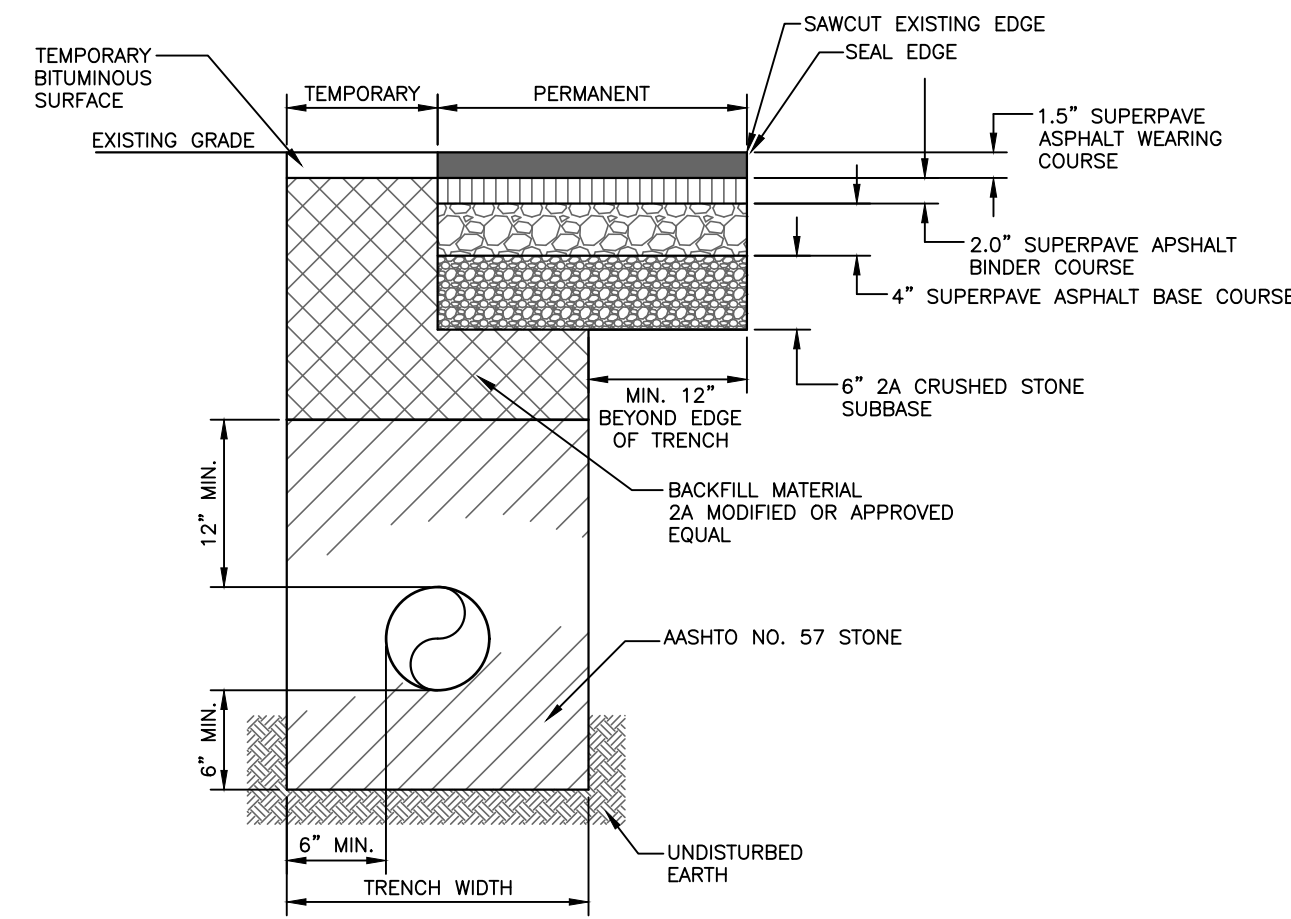
**FINAL LAND DEVELOPMENT PLAN**

GRAPHIC SCALE  
0 10 20 40 80  
(IN FEET)  
1 inch = 20'

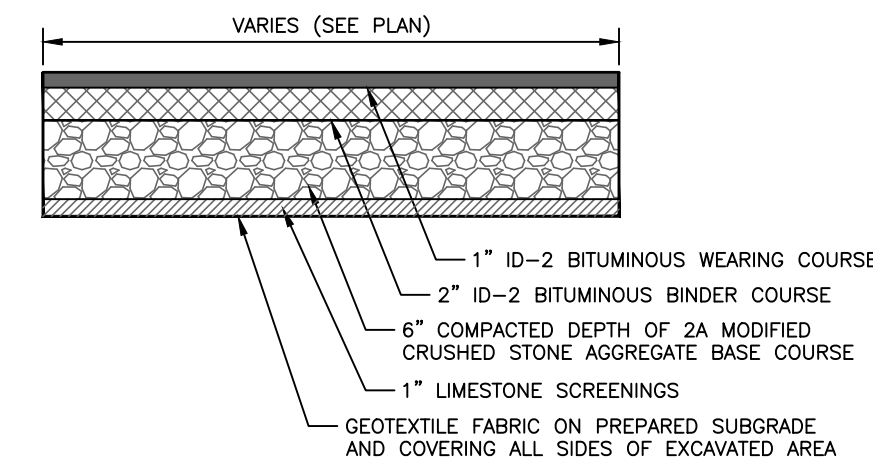
Date:  
**01/13/2023**  
Scale:  
**1" = 20'**  
Drawn by:  
**MEAS**  
Checked by:  
**SIJZ**  
Project No.  
**11421**

**LANDSCAPE & LIGHTING PLAN FOR**  
**MEGILL HOLDINGS, LLC.**  
**732 & 734 S. MATLACK STREET**  
**WEST CHESTER, PA, 19382**  
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA

**SHEET**  
**10**  
**OF 11**

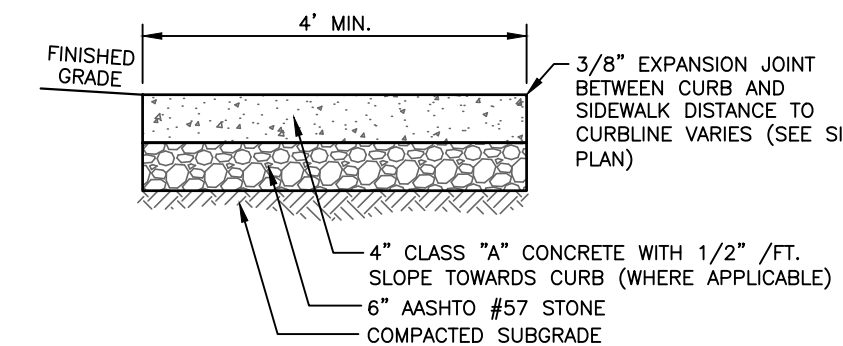


**PAVEMENT RESTORATION DETAIL FOR  
MATLACK STREET AND MECHANICS ALLEY**  
(NOT TO SCALE)

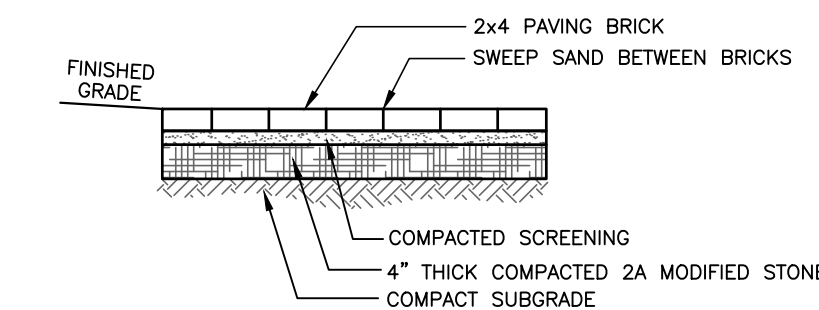


**TYPICAL DRIVEWAY / PARKING LOT SECTION**  
(NOT TO SCALE)

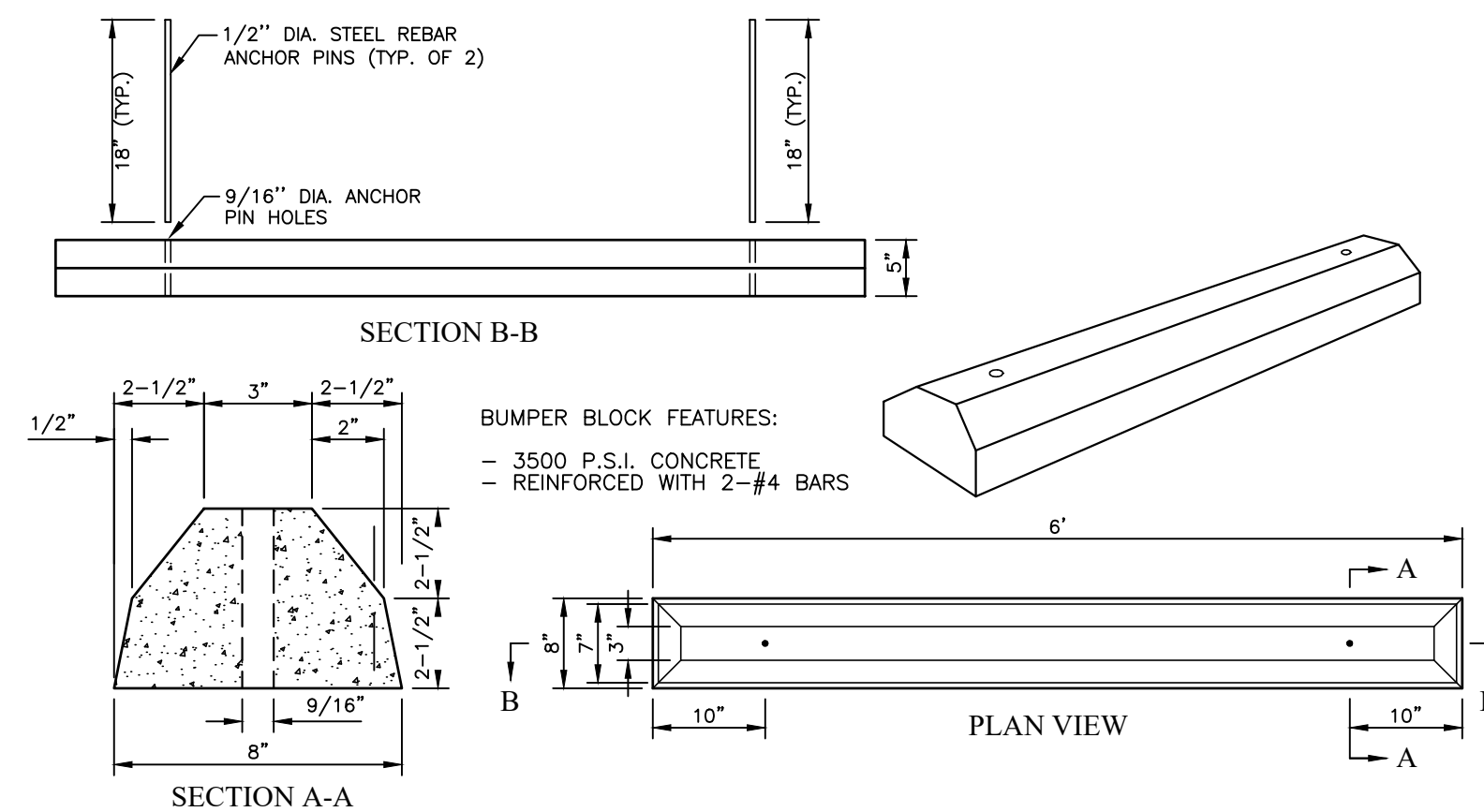
NOTE:  
PARKING AREAS SHALL BE LINE-STRIPED WITH WHITE OR YELLOW  
LINE-STRIPED PAINT



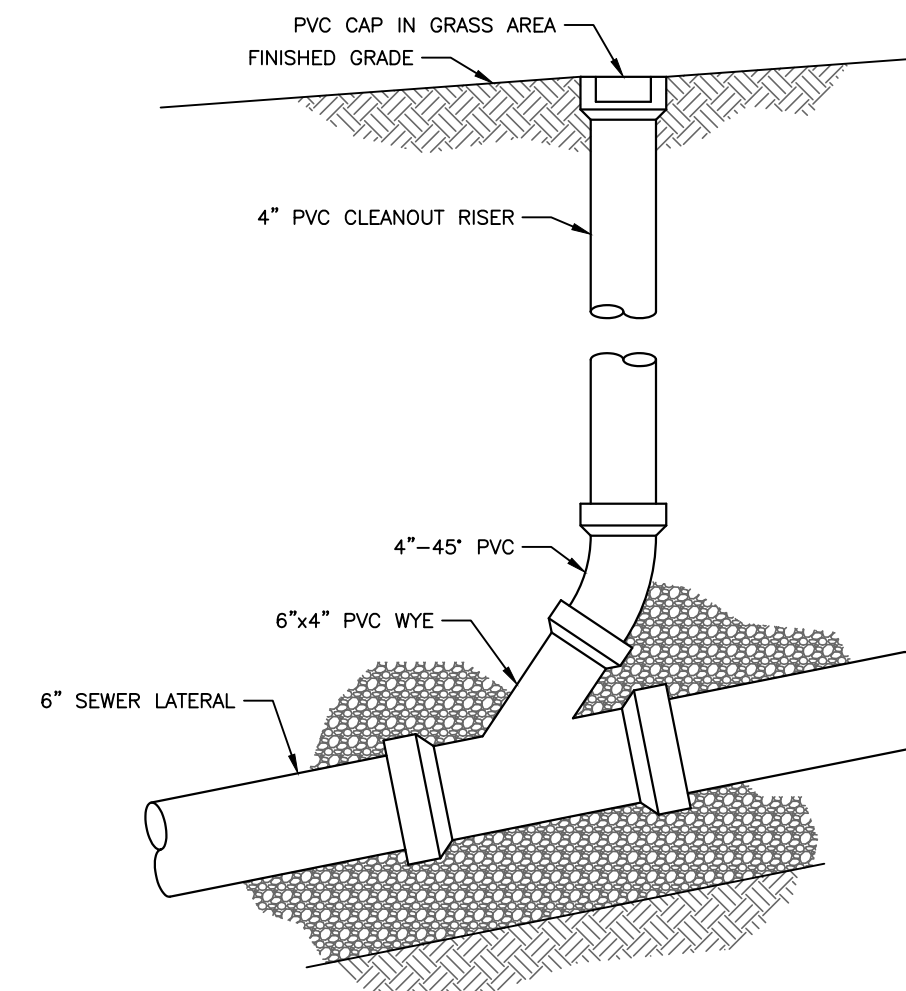
**TYPICAL SIDEWALK SECTION**  
(NOT TO SCALE)



**TYPICAL BRICK SIDEWALK SECTION**  
(NOT TO SCALE)



**BUMPER BLOCK DETAIL**  
(NOT TO SCALE)



**SANITARY LATERAL & CLEANOUT DETAIL**  
(NOT TO SCALE)

CLEANOUTS IN SIDEWALKS OR STREETS SHALL BE BROUGHT  
TO FINISHED GRADE WITH 12" x 6" CONCRETE PAD AT SURFACE.

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Pennsylvania One Call System  
PA act 172 of 1986 requires  
three working days notice  
Serial Numbers:  
**20222571282**  
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No.	Date:	Description:
1	4/4/2023	REVISIONS PER MUNICIPAL REVIEWS.
2	5/12/2023	REVISIONS PER MUNICIPAL REVIEWS AND ARCHITECTURAL PLANS

**FINAL  
LAND DEVELOPMENT PLAN**

Date:  
**01/13/2023**  
Scale:  
**AS NOTED**  
Drawn by:  
**DWN**  
Checked by:  
**SJZ**  
Project No.  
**11421**

**CONSTRUCTION DETAILS  
FOR  
MEGILL HOLDINGS, LLC.  
732 & 734 S. MATLACK STREET  
WEST CHESTER, PA, 19382  
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA**

**S H E E T  
11  
OF 11**